



RIVERSIDE COUNTY PLANNING DEPARTMENT

John Hildebrand
Planning Director

DEVELOPMENT ADVISORY COMMITTEE (“DAC”) INITIAL CASE TRANSMITTAL RIVERSIDE COUNTY PLANNING DEPARTMENT – RIVERSIDE PO Box 1409 Riverside, 92502-1409

DATE: April 27, 2023

TO:

Planner: Alex Opulencia
Geology
Paleontology
Biology
Cultural
Parks and Open Space Planning Trails

WQMP Transportation
Traffic Study Transportation
Surveyor
Code Enforcement
Building & Safety – Plan Check
Environmental Health Dept.

Fire
Flood Control
Board of Supervisor Spiegel
Planning Commissioner Gruytch

CONDITIONAL USE PERMIT No. 230007 – Applicant: Erika Hernandez (Quick Quack Carwash) Engineer/Representative: Leticia Alvarez (Kimley-Horn) – Second Supervisorial District – Woodcrest District – Lake Mathews / Woodcrest Area Plan – Land Use Designation: Community Development: Commercial Retail (CD:CR), Rural Community: Very Low Density Residential (RC:VLDR) – Location: South of Van Buren Blvd., north of Krameria Ave., east of Washington St., west of Gardner Ave. – 1.31 acres – Zoning: Scenic Highway Commercial (C-P-S) – **REQUEST:** Conditional Use Permit for a 3,596 square foot car wash facility with new concrete walks, three (3) drive aisles, landscaping, vacuum stations, and existing parking spots on a single 1.31 acre lot – APN: 274-040-049; Project Planner: Alexander Opulencia; 951-955-0972; aopulencia@rivco.org **BBID#372-756-586**

DAC staff members and other listed Riverside County Agencies, Departments and Districts staff:
A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft conditions in the Land Management System (LMS) on or before the indicated DAC date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the LMS routing on or before the above date. This case is scheduled for a **DAC meeting on May 11, 2023**. Once the route is complete, and the approval screen is approved with or without corrections, the project can be scheduled for a public hearing.

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



RIVERSIDE COUNTY

PLANNING DEPARTMENT

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Any questions regarding this project, should be directed to *Choose a building block.*

Public Hearing Path: Administrative Action: DH: PC: BOS:

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

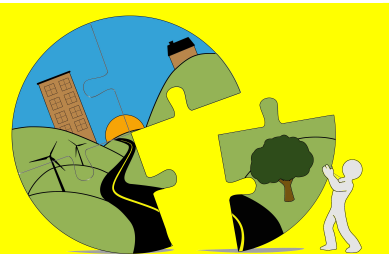
If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LEGEND

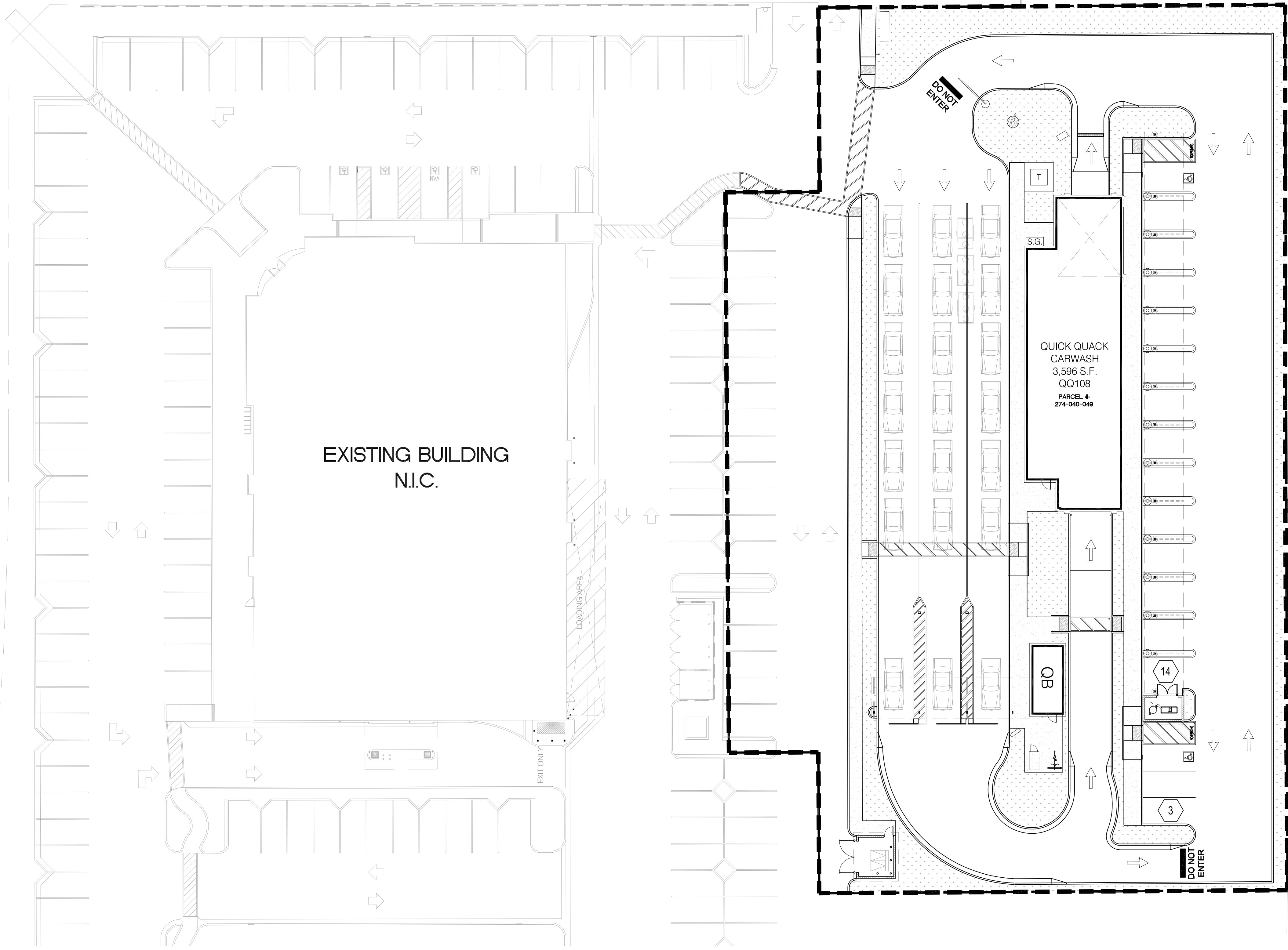
- BROWN = BUILDING & SAFETY GRADING DIVISION COMMENTS
- PURPLE = PLANNING DEPARTMENT COMMENTS
- GREEN = ENVIRONMENTAL PROGRAMS DEPARTMENT COMMENTS
- LIGHT ORANGE = TRANSPORTATION DEPARTMENT COMMENTS
- BLUE = FLOOD CONTROL DISTRICT COMMENTS
- LIGHT GREEN = REGIONAL PARKS & OPEN SPACE DISTRICT COMMENTS
- RED = FIRE DEPARTMENT COMMENTS
- YELLOW = ENVIRONMENTAL HEALTH DEPARTMENT COMMENTS
- LIGHT BLUE = BUILDING & SAFETY PLAN CHECK COMMENTS
- ORANGE = WASTE MANAGEMENT DEPARTMENT COMMENTS

CASE: CUP230007
EXHIBIT: Submittal Set
DATE: 5/11/2023
PLANNER: A.Opulencia

Meeting
 Comment Agenda
 Final



VAN BUREN BLVD. LIMIT OF WORK



PROJECT DESCRIPTION

CONSTRUCTION OF:
 NEW CAR WASH FACILITY, INCLUDING BUT NOT LIMITED TO: NEW CONCRETE WALKS, DRIVE AISLES, CURBS, LANDSCAPING, VACUUM STATIONS, UTILITIES, AND ALL ASSOCIATED FIXTURES, FURNISHINGS AND EQUIPMENT.

PROJECT INFORMATION

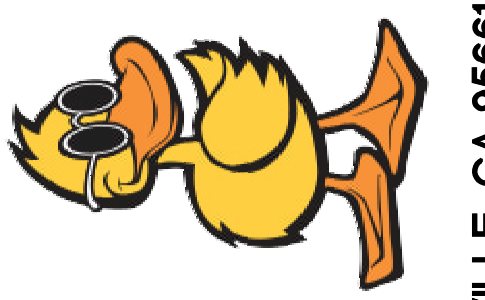
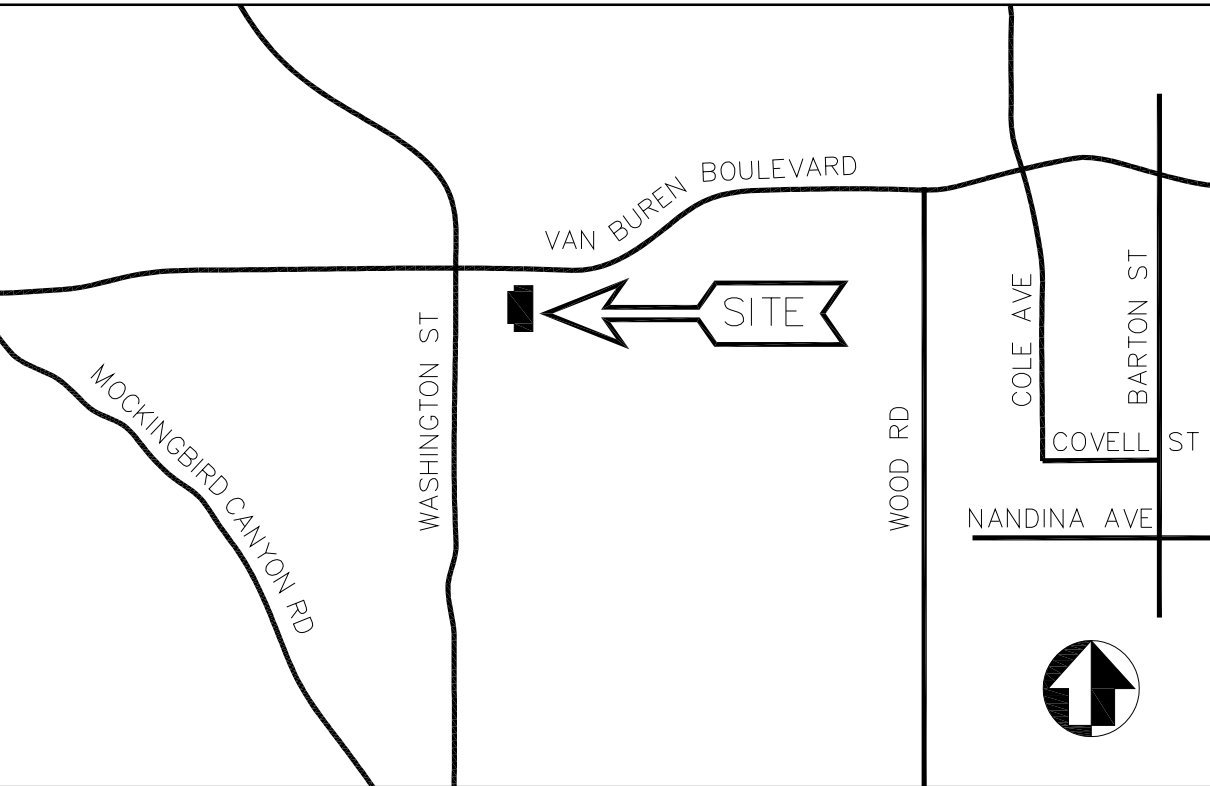
CONDITIONAL USE PERMIT
 PARCEL NUMBER: 274-040-049
 ZONING CLASSIFICATION: C-P-S, CZ NUMBER 7755 (SCENIC HIGHWAY COMMERCIAL)
 LAND USE TYPE: COMMERCIAL
 JURISDICTION: COUNTY OF RIVERSIDE

SHEET INDEX

SHEET LIST	DESCRIPTION
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ARCHITECTURAL	
A1.00	OVERALL SITE PLAN
A1.01	ARCHITECTURAL SITE PLAN
A2.00	FLOOR PLAN
A3.00	BUILDING ELEVATIONS
A3.01	BUILDING ELEVATIONS
A3.02	BUILDING ELEVATIONS REMOTE
A4.00	COLOR ELEVATIONS
A4.01	COLOR ELEVATIONS
A5.00	PAY CANOPY
A5.01	VACUUM CANOPY
A5.02	COLOR ELEVATIONS VACUUM CANOPY
A6.00	SITE ELEMENTS ENCLOSURES
A6.01	SITE ELEMENTS ENCLOSURES
LANDSCAPE	
L1	LANDSCAPE PLAN
L1	LANDSCAPE PLAN COLORED
CIVIL	
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2	GENERAL NOTES
3	GENERAL NOTES CONTINUATION
4	DEMOLITION PLAN
5	PRELIMINARY SITE PLAN
6	PRELIMINARY GRADING PLAN
7	PRELIMINARY UTILITY PLAN
8	CONSTRUCTION DETAILS
9	CONSTRUCTION DETAILS
10	ALTA (FOR REFERENCE ONLY)
11	ALTA (FOR REFERENCE ONLY)

VICINITY MAP



1380 LEAD HILL BLVD., STE. 260, ROSEVILLE, CA 95661

QUICK QUACK
 STORE #: 44-316
 17055 VAN BUREN BLVD.
 WOODCREST, CA 92504

REVISIONS

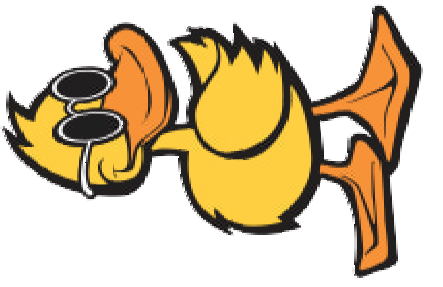
#	DATE	DESCRIPTION
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2		
3		
4		
5		
6		

TAIT
 SINCE 1964
 1801 Lampton Lane
 Norco, CA 92860
 P: 951475/3300
 www.tait.com

OVERALL SITE PLAN

DATE: FEBRUARY 17, 2023
 TAIT JOB #: QQ0033

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 PLANNING PACKAGE



Quick Quack
CAR WASH

1380 LEAD HILL BLVD., STE. 260, ROSEVILLE, CA 95661

QUICK QUACK
STORE #: 44-316
17055 VAN BUREN BLVD.
WOODCREST, CA 92504

REVISIONS

#	DATE	DESCRIPTION
1		
2		
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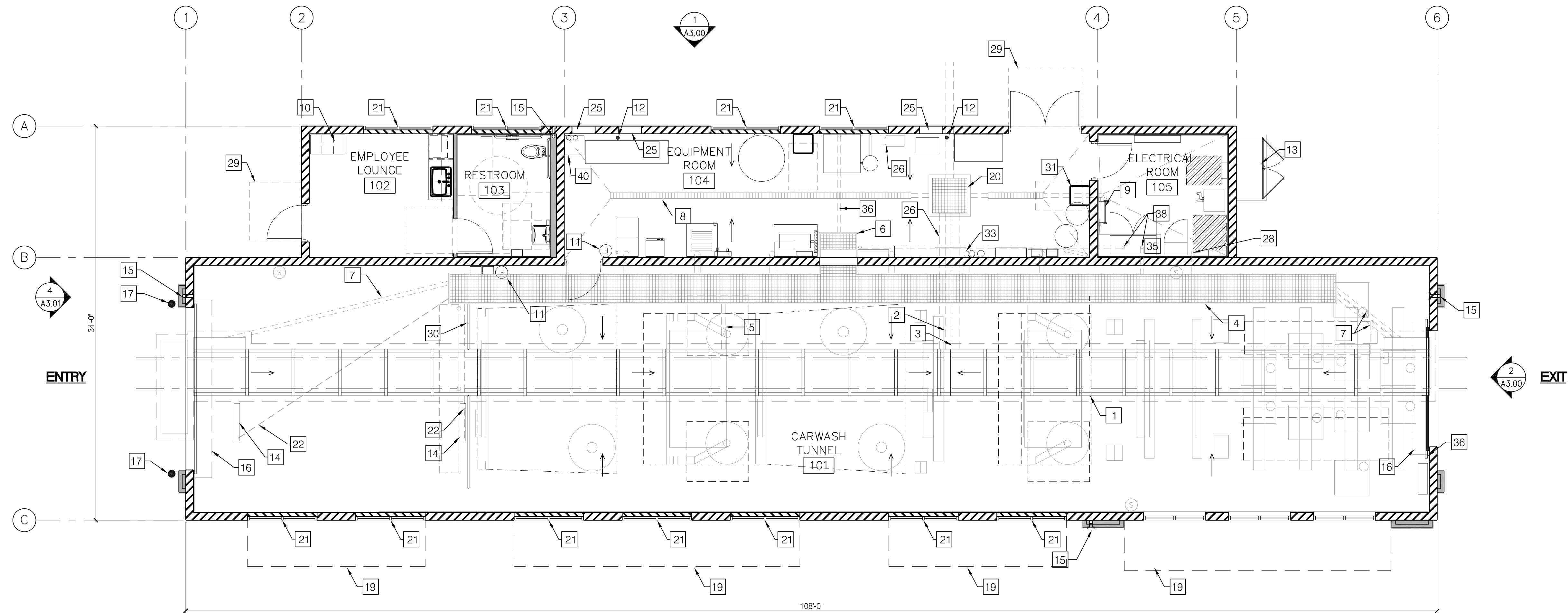
1801 Lampton Lane
Norco, CA 92860
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FLOOR PLAN

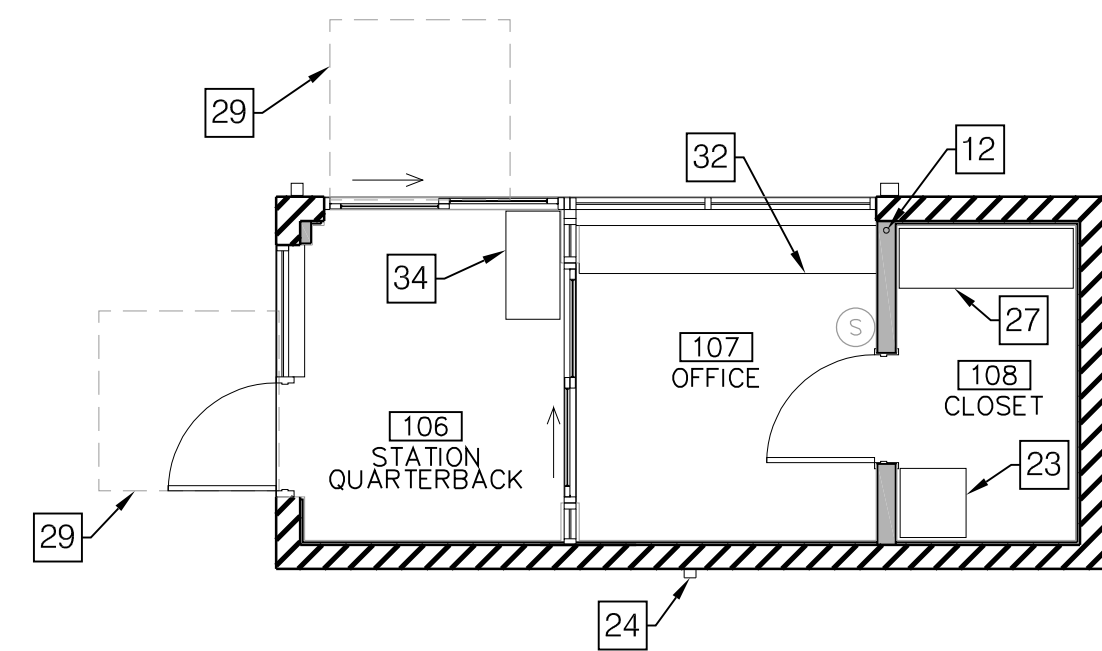
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PLANNING PACKAGE

A2.00



1 FLOOR PLAN
SCALE: 3/16"=1'-0"



1 QB STATION
SCALE: 3/16"=1'-0"

KEYNOTES

- 1 CONVEYOR TRENCH. SLOPE AT 1/4" PER FOOT TO DRAIN.
- 2 8" CONVEYOR TRENCH DRAIN PIPE.
- 3 6" CONVEYOR TRENCH OVERFLOW.
- 4 UTILITY TRENCH. SLOPE BOTTOM TO DRAIN.
- 5 4" FLOOR DRAIN FROM UTILITY TRENCH TO THE CONVEYOR TRENCH (TYPICAL 2 PLACES)
- 6 3'-4" WIDE X 2'-2" DEEP OPEN FOR ACCESS TO UTILITY TRENCH. CONTRACTOR TO PROVIDE COVER - MATCH UTILITY TRENCH
- 7 4" PIPE CHASE FROM UTILITY TRENCH TO CONVEYOR TRENCH. (TYPICAL 6 PLACES)
- 8 TRENCH DRAIN. SEE PLUMBING DRAWINGS PROVIDE 2 AT THE EXIT - EXTEND PAST WALL 1'-0" BEYOND OPENING
- 9 ROOF ACCESS LADDER.
- 10 EMPLOYEE LOCKERS. (TOTAL OF 3 - 1 ADA ACCESSIBLE) CONTRACTOR SUPPLIED AND INSTALLED
- 11 WALL MOUNTED ENCLOSED FIRE EXTINGUISHER. - 2A-10BC (TYPICAL 2 PLACES)
- 12 ROOF DRAIN LEADER (TYPICAL 3 PLACES)
- 13 ELECTRICAL SERVICE SWITCHGEAR
- 14 CUT RECESS IN SLAB FOR TIRE SENSOR SWITCH. (TYPICAL 2 PLACES) QQ TO CONFIRM LOCATION
- 15 HOSE BIB IN RECESS BOX. PROVIDE WITH LOCKABLE DOOR AT EXTERIOR LOCATIONS. (TYPICAL 4 PLACES)
- 16 COILING ROLL-UP DOOR. (TYPICAL 2 PLACES)
- 17 4" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE. (TYPICAL 2 PLACES)
- 18 NOT USED
- 19 WALL MOUNTED CANOPY ABOVE. (TYPICAL 4 PLACES)
- 20 3'-0" X 3'-0" RECLAIM CLEAN-OUT
- 21 FAUX WINDOW - SEE EXTERIOR ELEVATIONS
- 22 1/2" CONDUIT TO TIRE SWITCH TERMINATE AT END OF RECESS. CONDUIT TO GO UNDER CONVEYOR TRENCH (TYPICAL 2 PLACES)
- 23 WALL MOUNTED IT CABINET
- 24 KNOX BOX - CONTRACTOR TO COORDINATE WITH LOCAL FIRE DEPARTMENT FOR TYPE, SIZE AND PREFERRED LOCATION
- 25 24" WIDE X 16" HIGH AIR VENT - SEE EXTERIOR ELEVATIONS (TYP. 3 PLACES)
- 26 4" DRAIN PIPE STUBBED UP 12" AFF. PAINTED QUICK QUACK GREEN. (TYPICAL 2 PLACES)
- 27 CONTRACTOR FURNISHED AND INSTALLED 20" X 54" X 84" TALL STORAGE CABINET WITH ADJUSTABLE SHELVING AND WHITE MELAMINE FINISH ON THE INSIDE AND GRAY OUTSIDE.
- 28 3" CHASE (NEXT TO CONTROL PANEL TO UTILITY TRENCH)
- 29 LEVEL LANDING PER CBC 11B-404.2.4 AND TABLE 11B404.2.4.1 (TYP) - 24" MIN STRIKE EDGE CLEARANCE FOR THE EXTERIOR DOOR LANDING
- 30 3/4" x 1 1/2" WIDE RECESS IN SLAB FOR DRAINAGE (TYPICAL 2 PLACES)
- 31 CONTRACTOR SUPPLIED AND INSTALLED EYE WASH STATION
- 32 34" MAXIMUM A.F.F. COUNTER TOP.
- 33 6" SWEEPS FROM UTILITY TRENCH TO EQUIPMENT ROOM (TYPICAL 6 PLACES) VERIFY WITH OWNER FOR EXACT LOCATIONS)
- 34 CONTRACTOR FURNISHED AND INSTALLED 18" X 36" X 40" TALL POS CABINET
- 35 2'-0" X 5'-6" X 4" TALL CONCRETE "HOUSE CLEANING PAD" FOR MCC PANEL
- 36 3/4" x 2 1/2" WIDE RECESS IN SLAB FOR DRAINAGE (TYPICAL 2 PLACES) EXTEND PAST EXIT OPENING 1'-0" MINIMUM
- 37 1" PVC CHASE TO BUG JUICE CONTROL PANEL. SWEEPS ONLY. NO 90 DEGREES.
- 38 2 - 3" CHASE AT CENTER OF MCC PANEL "HOUSE KEEPING PAD". RUN ONE CHASE TO EQUIPMENT TRENCH AND ONE NEXT TO ACCESS OPENING
- 39 3" CHASE FROM ACCESS OPENING TO FACE OF WALL
- 40 NEED CHASES TO EACH VACUUM ENCLOSURES. SWEEPS ONLY. GC TO INSTALL AND PULL 3/8" PEX LINE FROM EQUIPMENT ROOM TO ENCLOSURES WOUND UP TO 10' COIL ON EACH END

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	4	Cercis canadensis 'Oklahoma' / Eastern Redbud (Standard)	24" box	Low	Varies
	5	Lagerstroemia indica 'Red Rocket' / Crape Myrtle	24" box	Moderate	Varies
	1	Ulmus parvifolia 'True Green' / True Green Lacebark Elm	24" box	Moderate	Varies
	4	Washingtonia robusta / Mexican Fan Palm Approved Van Buren Blvd. street tree	10" BTH (skinned)	Moderate	Varies

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	30	Agave americana / Century Plant	15 gal.	Low	Varies
	210	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal.	Low	3'
	105	Hesperaloe parviflora 'Perpa' / Brakelights® Red Yucca	5 gal.	Low	Varies
	111	Lantana montevidensis / Purple Trailing Lantana	5 gal.	Low	Varies
	27	Leucophyllum frutescens 'Compacta' / Compact Texas Sage	5 gal.	Low	4'
	38	Westringia fruticosa / Coast Rosemary	5 gal.	Low	3'-6"
	128	Yucca x 'Bright Star' / Variegated Spanish Dagger	5 gal.	Low	Varies

VINES/ESPALLIERS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	5	Magnolia grandiflora 'Little Gem' / Espallier Little Gem Dwarf Southern Magnolia	5 gal.	Moderate	Varies
	22	Parthenocissus quinquefolia / Virginia Creeper	5 gal.	Moderate	10'

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	323	Festuca idahoensis 'Siskiyou Blue' / Siskiyou Blue Fescue	1 gal.	Low	18" o.c.
	15	Rosmarinus officinalis 'Irene' / Irene Trailing Rosemary	1 gal.	Low	42" o.c.

GENERAL NOTES

- All landscape planting areas shall receive a minimum 3" layer of non-combustible organic wood chip mulch top dressing.
- All new trees located within 5' of pavement or permanent structure shall have a root barrier.
- All new plant material, shall be irrigated with drip irrigation and a smart controller. Landscape Plans will comply with County of Riverside Water Conservation Standards.
- Existing trees and shrubs to remain shall be protected and preserved in place.
- Landscape Maintenance shall be the responsibility of the property owner.

Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE (SHRUBS)	.3	DRIP	.81	.37	7,345	2,736	95,673 GAL.
MODERATE WATER USE (TREES/VINES)	.5	BUBBLERS	.81	.62	550	341	11,924 GAL.
TOTALS					(A) 7,895	(B) 3,077	
ETWU Total							107,597 GAL.

Maximum Applied Water Allowance (MAWA). $MAWA = \frac{[ETo]}{[56.4]} \left[\frac{[Conversion\ factor]}{[.62]} \left(\frac{[ETAF] \times [Landscape\ Area]}{[.45 \times 7,895]} \right) + \frac{[1-ETAF] \times [SLA]}{[1-.45] \times 0} \right] = 124,233 \text{ GALLONS}$

Estimated Total Water use (ETWU). $ETWU = \frac{[ETo]}{[56.4]} \left[\frac{[Conversion\ factor]}{[.62]} \left(\frac{[ETAF] \times [Area]}{[3,077]} \right) \right] = 107,597 \text{ GALLONS}$

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B) 3,077
Total Area	(A) 7,895
Average ETAF	(B / A) .39

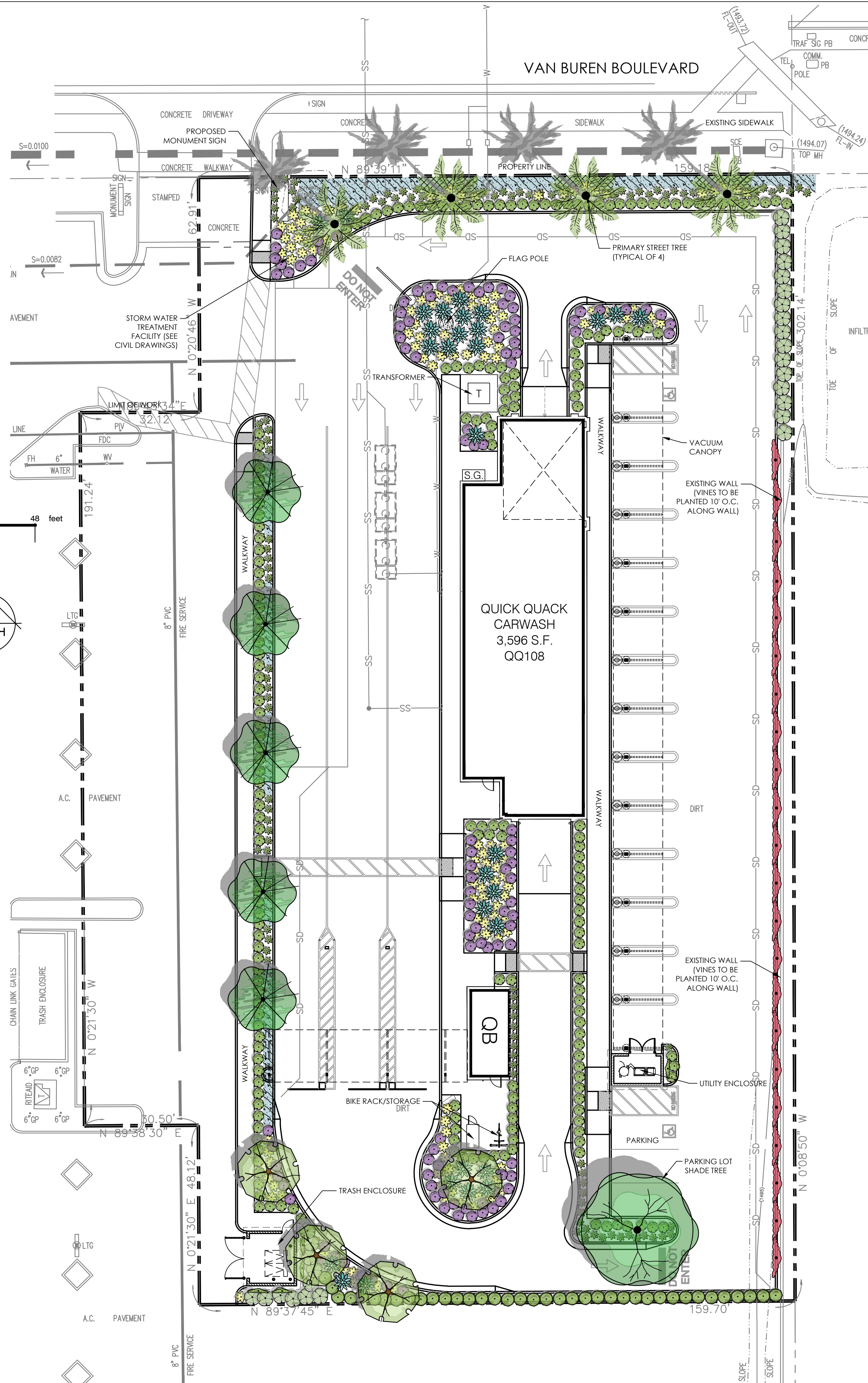
Note:
1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

COMPLIANCE STATEMENT

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package

Rodney Scaccaloni

2-22-23



1380 LEAD HILL BLVD., STE. 260, ROSEVILLE, CA 95661

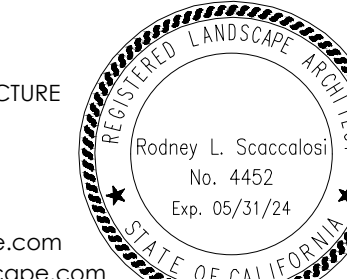
QUICK QUACK
STORE #: 44-316
17055 VAN BUREN BLVD.
WOODCREST, CA 92504

REVISIONS

#	DATE	DESCRIPTION
1		



OLIVE STREET LANDSCAPE ARCHITECTURE
P.O. Box 2083
Petaluma CA 94952
707-280-8990
OliveStreetLandscape.com
rod@olivestreetlandscape.com



LANDSCAPE PLAN

DATE: FEBRUARY 17, 2023
TAIT JOB #: Q00033

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