



# RIVERSIDE COUNTY PLANNING DEPARTMENT

*John Hildebrand  
Planning Director*

## DEVELOPMENT ADVISORY COMMITTEE (“DAC”) INITIAL CASE TRANSMITTAL RIVERSIDE COUNTY PLANNING DEPARTMENT – RIVERSIDE PO Box 1409 Riverside, 92502-1409

DATE: May 4, 2023

**TO:**

Planner: Russel Brady  
Geology  
Paleontology  
Biology  
Cultural  
Park and Open Space Planning Trails  
WQMP Transportation

Traffic Study Transportation  
Grading Transportation  
LSCP Landscape Transportation  
Environmental Health Dept.  
Fire Marshal (Riverside)  
Flood Control  
Board of Supervisors - Supervisor: Spiegel

Planning Commissioner: Gruytch  
Sphere of Influence - Corona

**SPECIFIC PLAN NO. 353 AMENDMENT NO. 1, GENERAL PLAN AMENDMENT NO. 230002, CHANGE OF ZONE NO. 230006, TENTATIVE PARCEL MAP NO. 38701** – Applicant: LW Developers – Representative: T&B Planning, Inc. Engineer: Kimley-Horn – Second Supervisorial District – Temescal Canyon Area Plan: Community Development: Light Industrial (CD:LI), Commercial Retail (CD:CR); Open Space: Water (OS:W), Open Space: Conservation (OS:C) –Glen Ivy Zoning Area – Zoning: SP Zone (Serrano, Specific Plan No. 353) – Location: east of Interstate-15, east and north of Temescal Canyon Road, south of Dawson Canyon Road, west of Park Canyon Road – 489.4 Acres – **REQUEST:** The **Specific Plan Amendment** is a proposal to amend the existing Specific Plan by primarily removing the Commercial Retail component in the northwest portion of the Specific Plan and redesignating for Light Industrial as well as other Planning Area boundary and related land use designation changes for drainage areas and street alignments. Overall, the proposed land use plan includes a total of 387.7 acres designated as Light Industrial, 10.6 acres as Open Space – Conservation, 469.4 acres as Open Space – Conservation Habitat, and 14.9 acres as Open Space – Water. The **General Plan Amendment** is a proposal to modify the land use designations of the General Plan to match those as proposed by the Specific Plan Amendment. The **Change of Zone** is a proposal to modify the zoning ordinance of the Specific Plan and define the Planning Area boundaries of the proposed Specific Plan Amendment. The **Tentative Parcel Map** is a proposal for a Schedule E subdivision of 454.66 acres into 20 parcels. – APNs: 283-160-009, 283-170-012, 283-170-013, 283-170-014, 283-170-015, 283-170-021, 283-190-013, 283-190-014, 283-190-027, 283-200-008, 283-200-009, 283-200-010, 283-200-012, 290-050-002, 290-050-003, 290-050-012, 290-050-013, 290-050-020, 290-050-023, 290-050-026, 290-050-027, 290-050-028, 290-050-029, 290-050-042, 290-060-006, 290-060-016 – **BBID: 228-677-074**

DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

PLEASE PRINT NAME AND TITLE: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_

*If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.*



# RIVERSIDE COUNTY

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# PLANNING DEPARTMENT

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*Planning Director*

**DAC staff members and other listed Riverside County Agencies, Departments and Districts staff:**  
A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft conditions in the Land Management System (LMS) on or before the indicated DAC date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the LMS routing on or before the above date. This case is scheduled for a **DAC meeting on May 18, 2023**. Once the route is complete, and the approval screen is approved with or without corrections, the project can be scheduled for a public hearing.

Any questions regarding this project, should be directed to [Choose a building block](#).

Public Hearing Path:    Administrative Action:     DH:     PC:     BOS:

COMMENTS:

DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

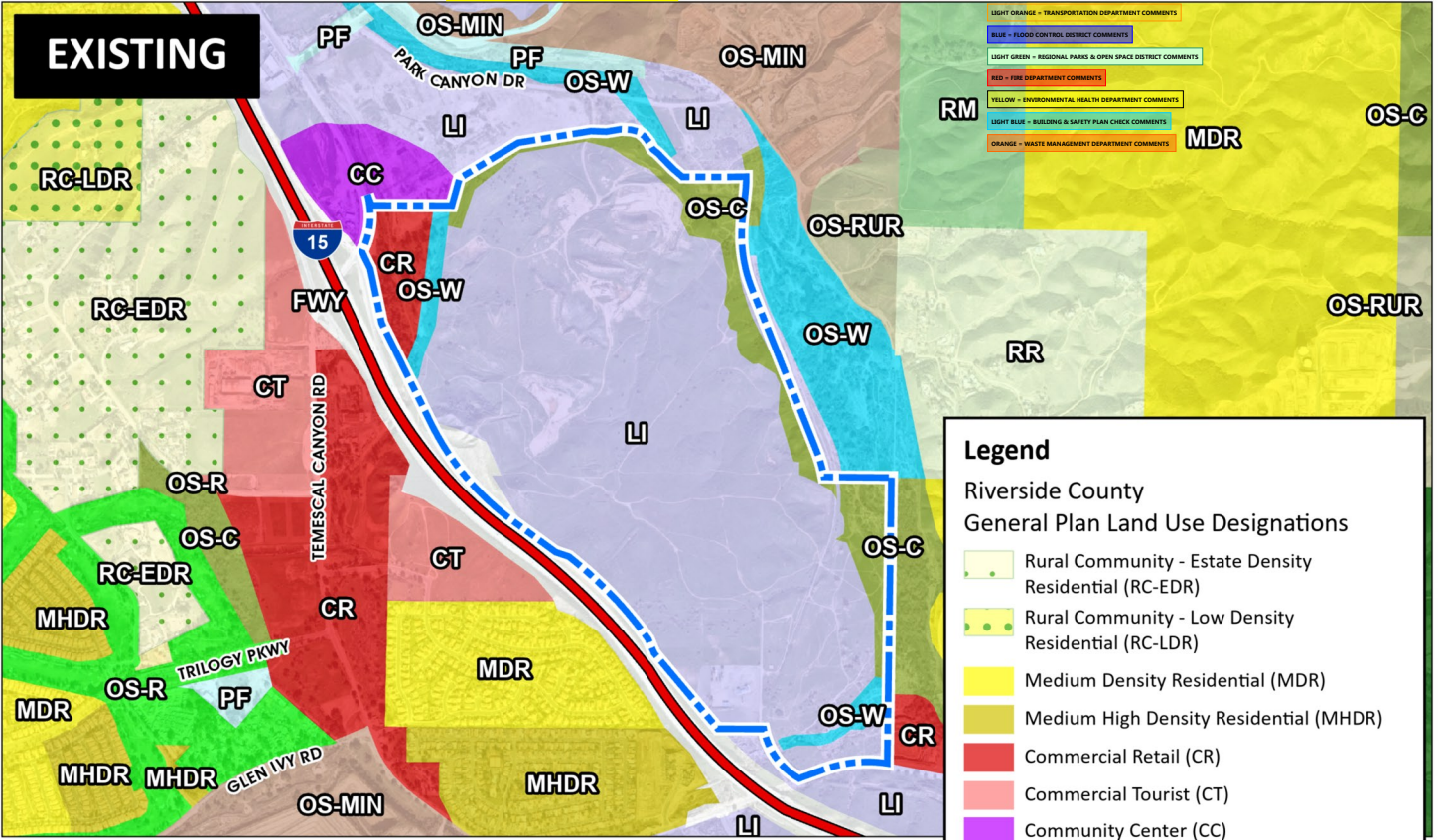
PLEASE PRINT NAME AND TITLE: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_

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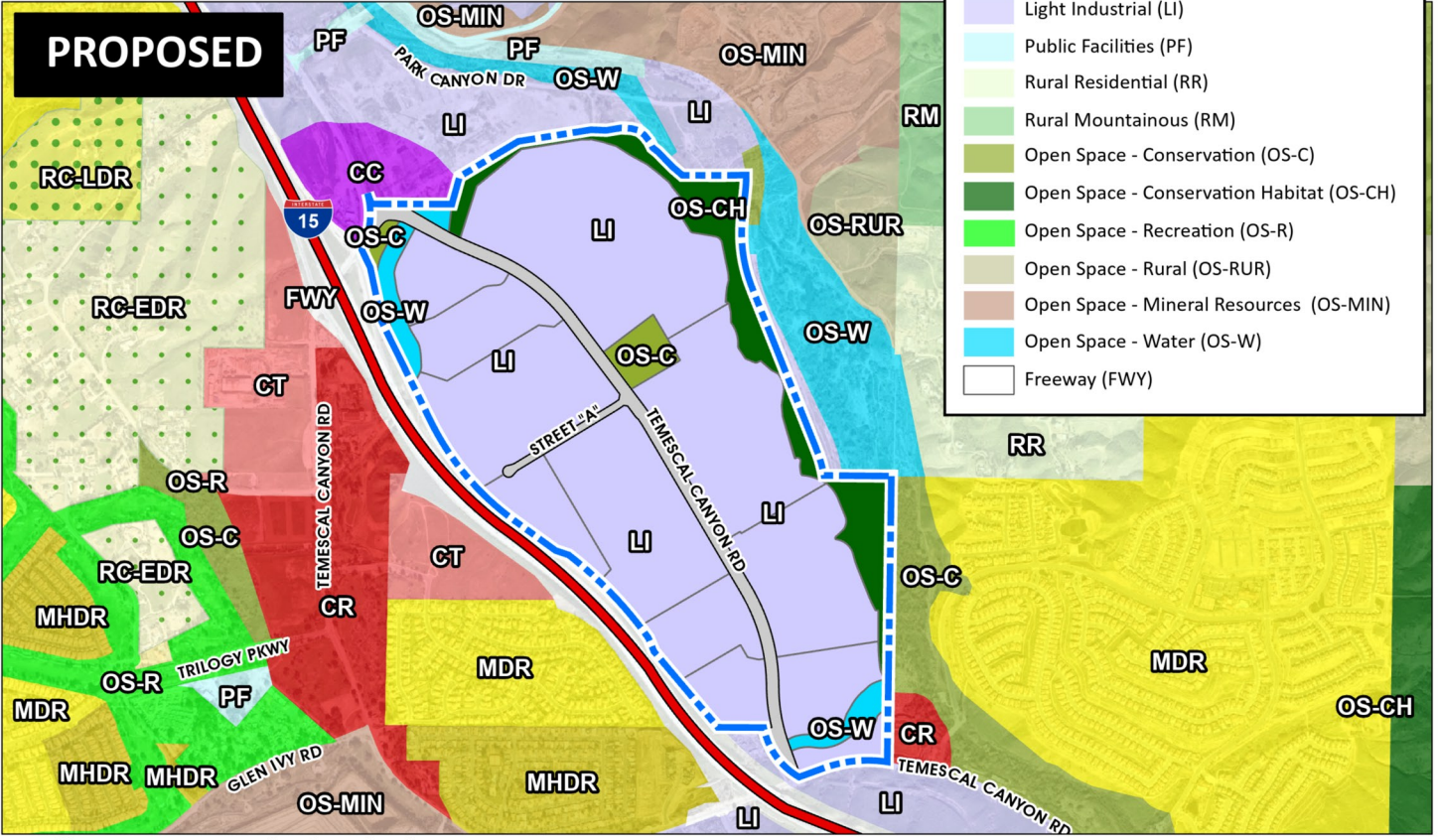


- LEGEND**
- BROWN - BUILDING & SAFETY GRADING DIVISION COMMENTS
  - PURPLE - PLANNING DEPARTMENT COMMENTS
  - GREEN - ENVIRONMENTAL PROGRAMS DEPARTMENT COMMENTS
  - LIGHT ORANGE - TRANSPORTATION DEPARTMENT COMMENTS
  - BLUE - FLOOD CONTROL DISTRICT COMMENTS
  - LIGHT GREEN - REGIONAL PARKS & OPEN SPACE DISTRICT COMMENTS
  - RED - FIRE DEPARTMENT COMMENTS
  - YELLOW - ENVIRONMENTAL HEALTH DEPARTMENT COMMENTS
  - LIGHT BLUE - BUILDING & SAFETY PLAN CHECK COMMENTS
  - ORANGE - WASTE MANAGEMENT DEPARTMENT COMMENTS



**Legend**  
 Riverside County  
 General Plan Land Use Designations

- Rural Community - Estate Density Residential (RC-EDR)
- Rural Community - Low Density Residential (RC-LDR)
- Medium Density Residential (MDR)
- Medium High Density Residential (MHDR)
- Commercial Retail (CR)
- Commercial Tourist (CT)
- Community Center (CC)
- Light Industrial (LI)
- Public Facilities (PF)
- Rural Residential (RR)
- Rural Mountainous (RM)
- Open Space - Conservation (OS-C)
- Open Space - Conservation Habitat (OS-CH)
- Open Space - Recreation (OS-R)
- Open Space - Rural (OS-RUR)
- Open Space - Mineral Resources (OS-MIN)
- Open Space - Water (OS-W)
- Freeway (FWY)



Source(s): ESRI, Nearmap Imagery (2022), RCIT (2022)  
 Composite: Kimley-Horn (February 2023)

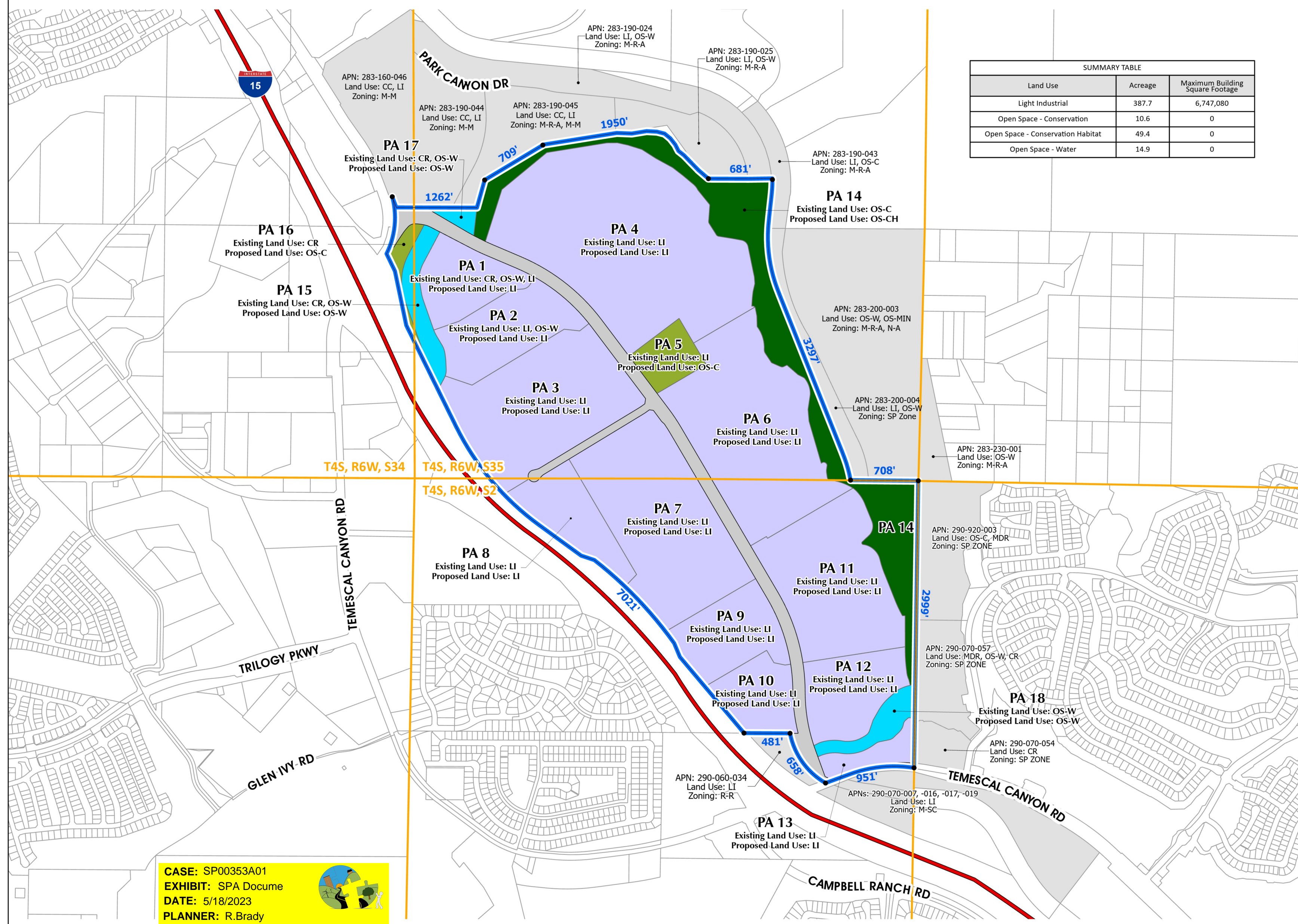


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# General Plan Amendment

# TEMESCAL CANYON AREA PLAN

A PORTION OF SECTIONS 35 AND 35, T4S,R6W AND PORTIONS OF THE NORTHEAST QUARTER (NE1/4) AND NORTHWEST QUARTER (NW1/4) OF SECTION 2, T4S,R6W, SBM



SUMMARY TABLE		
Land Use	Acres	Maximum Building Square Footage
Light Industrial	387.7	6,747,080
Open Space - Conservation	10.6	0
Open Space - Conservation Habitat	49.4	0
Open Space - Water	14.9	0

**APPLICANT/LAND OWNER:**  
 LW Developers, LLC.  
 Attn: Adam Collier  
 1156 N. Mountain Avenue  
 Upland, CA 91786  
 phone: (909) 949-7593  
 email: Adam.Collier@lewismc.com

**PREPARED BY:**  
 T&B PLANNING  
 Attn: Lance Retuya  
 3200 El Camino Real, Suite 100  
 Irvine, CA 92602  
 phone: (714) 505-6360  
 email: lretuya@tbplanning.com

**LEGAL DESCRIPTION:**  
 Being a portion of sections 35 and 35, T4S,R6W and portions of the northeast quarter (NE1/4) and northwest quarter (NW1/4) of section 2, T4S,R6W, SBM, all in the county of Riverside, State of California

**EXISTING LAND USE DESIGNATION(S):**  
 Commercial Retail (CR), Light Industrial (LI),  
 Open Space - Conservation (OS-C), Open Space - Water (OS-W)

**PROPOSED LAND USE DESIGNATION(S):**  
 Light Industrial (LI), Open Space - Water (OS-W),  
 Open Space - Conservation (OS-C),  
 Open Space - Conservation Habitat (OS-CH)

**EXISTING ZONING:**  
 SP Zone

**PROPOSED ZONING:**  
 SP Zone

**AMENDMENT DESCRIPTION:**  
 Proposed Amendment #1 to Specific Plan No. 353 (SP 353) would eliminate the Commercial Retail uses in Planning Area 1, reconfigure the areas planned for on-site drainages, reconfigure the boundaries of the approved Light Industrial Planning Areas, and provide updated landscaping and architectural Design Guidelines.

**UTILITIES:**  
 Water: TVWD  
 Sewer: EMWD  
 Gas: So Cal Gas  
 Electric: So Cal Edison  
 Telephone: AT&T

**SCHOOL DISTRICT:**  
 Corona-Norco Unified School District

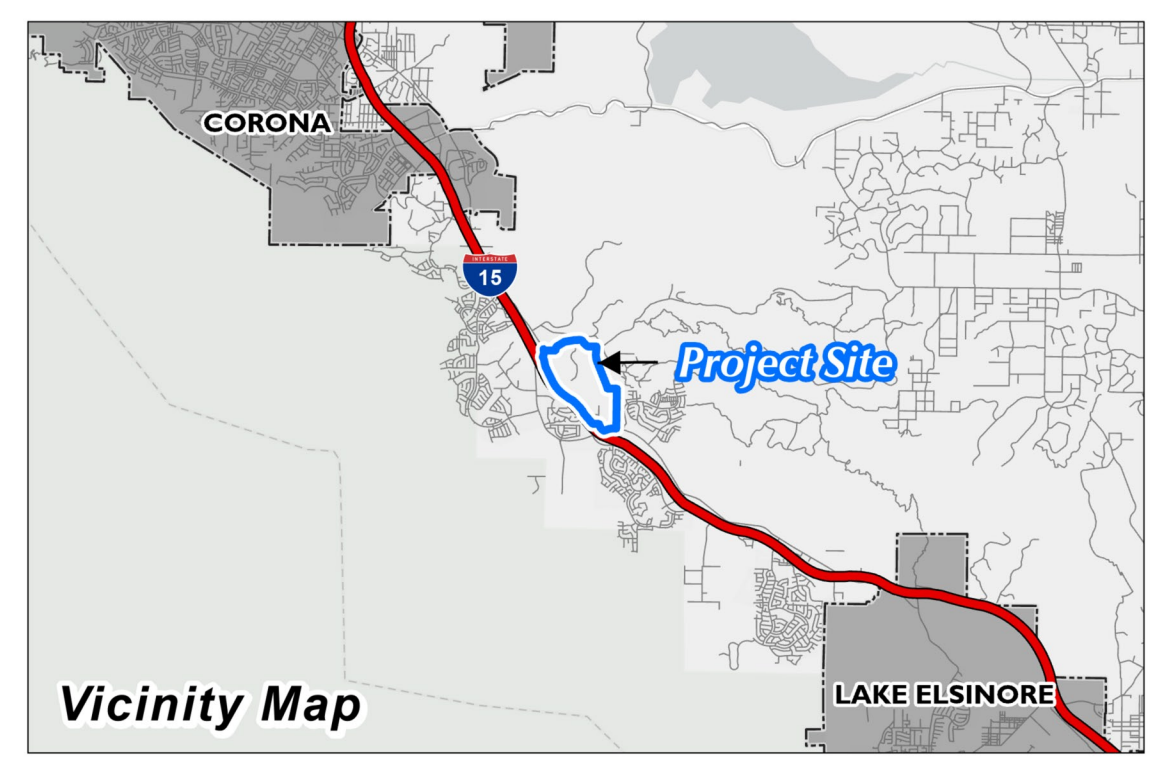
**ACRES OF PROPERTY**  
 Net: 454.6 Acres\*  
 \*Excluding Proposed Street, Channel, and Dedication  
 Gross: 489.4 Acres

**FEMA FLOOD ZONE DESIGNATION:**  
 Not located with a FEMA Flood Zone

**WATER/SEWER SERVICE:**  
 There are 4 water wells on the property.

**RECREATION/PARK DISTRICT:**  
 The property is not located within a Recreation or Park District.

**COUNTY SERVICE AREA:**  
 The property is not located within a County Service Area.



**CASE:** SP00353A01  
**EXHIBIT:** SPA Docume  
**DATE:** 5/18/2023  
**PLANNER:** R.Brady

Meeting  Comment Agendas  Final

**LEGEND**

	LIGHT INDUSTRIAL
	OPEN SPACE - CONSERVATION
	OPEN SPACE - CONSERVATION HABITAT
	OPEN SPACE - WATER

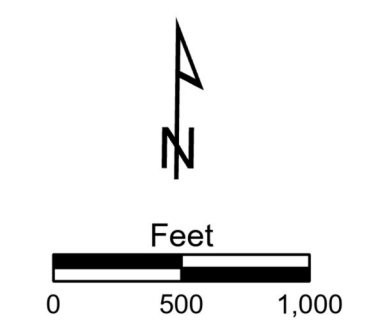
**ASSESSOR'S PARCEL NUMBER(S):**  
 283-160-009, 283-170-012, 283-170-013, 283-170-014, 283-170-015,  
 283-170-021, 283-190-013, 283-190-014, 283-190-027, 283-200-008,  
 283-200-009, 283-200-010, 283-200-012, 290-050-002, 290-050-003,  
 290-050-012, 290-050-013, 290-050-020, 290-050-023, 290-050-026,  
 290-050-027, 290-050-028, 290-050-029, 290-050-042, 290-060-006,  
 290-060-01

MAP NO. AMENDMENT OF OFFICIAL SPECIFIC PLAN AMENDING

SPECIFIC PLAN AMENDMENT CASE NO. SP353-A1  
 AMENDING ORDINANCE NO. \_\_\_\_\_  
 ADOPTED BY ORDINANCE NO. \_\_\_\_\_  
 DATE \_\_\_\_\_  
 RIVERSIDE COUNTY BOARD OF SUPERVISORS

**LEGEND**

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Date Prepared: April 12, 2023

## Specific Plan Amendment No. SP353-A1

Specific Plan Amendment

### Serrano Commerce Center SP (SP353-A1)