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RIVERSIDE COUNTY
PLANNING DEPARTMENT

John Hildebrand
Planning Director

**DEVELOPMENT ADVISORY COMMITTEE (“DAC”)
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT – RIVERSIDE
PO Box 1409
Riverside, 92502-1409**

DATE: January 4, 2023

TO:

Geology
Paleontology
Biology
Cultural
Park and Open Space Planning Trails
WQMP Transportation
Traffic Study Transportation
Grading Transportation
LSCP Landscape Transportation

Surveyor
Code Enforcement
Building & Safety – Plan Check
Environmental Health Dept.
Fire Marshal (Riverside)
Flood Control
Public Health Dept.
Riv. Co. Waste Resources Dept.
Board of Supervisors - Supervisor: Jeffries

Planning Commissioner: Awad
Eastern Municipal Water District (EMWD)
Southern California Edison Co. (SCE)

PRE-APPLICATION REVIEW (PAR) NO. 220101 — Applicant: Blair Boyce, Hines Acquisitions LLC – Second Supervisorial District – El Cerrito Zoning District – Temescal Canyon Area Plan: Light Industrial (LI): Temescal Wash Policy Area – Location: 20310 Temescal Canyon Road, north of Cajalco Rd. and east of Temescal Canyon Rd. – 17.94 acres – Zoning: Manufacturing Service Commercial (M-SC) – **REQUEST:** PAR 220101 proposes the demolition and replacement of an existing RV storage facility into two class A industrial warehouses. Building 1 will be approximately 82,806 sq. ft. and Building 2 will be approximately 188,366 sq. ft. – APNs: 279-530-035, -037; 279-530-039, -047; 279-530-051, -054 – Project Planner: Jose Merlan at 951-955-0314 or email at jmerlan@rivco.org **BBID:063-471-955**

DAC staff members and other listed Riverside County Agencies, Departments and Districts staff: A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft conditions in PLUS on or before the indicated DAC date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the PLUS routing on or before the DAC date shown below.

This case is scheduled for a **DAC meeting on January 12, 2023**. Once the route is complete, and the approval screen is approved with or without corrections, a final comment letter will be provided to the project applicant for the PAR application.

Any questions regarding this project, should be directed to Jose Merlan, Project Planner at (951) 955-0314, or e-mail at jmerlan@rivco.org / MAILSTOP #: 1070

Public Hearing Path: Administrative Action: DH: PC: BOS:

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



Temescal Canyon Rd

Cajalco Rd

Temescal Canyon Rd

Temescal Canyon Rd

Temescal Canyon Rd

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Temescal Canyon Rd

Temescal Canyon Rd

Temescal Canyon Rd

Temescal Canyon Rd

+

-

3D

Temescal Canyon Rd

Amazon Hub Locker - Piedras

Taquero Mucho Mexican

Circle K

Bitcoin Depot - ATM

Cajalco Temescal Storage & RV Center

Temescal Canyon Rd

Temescal Canyon Rd

Temescal Canyon Rd

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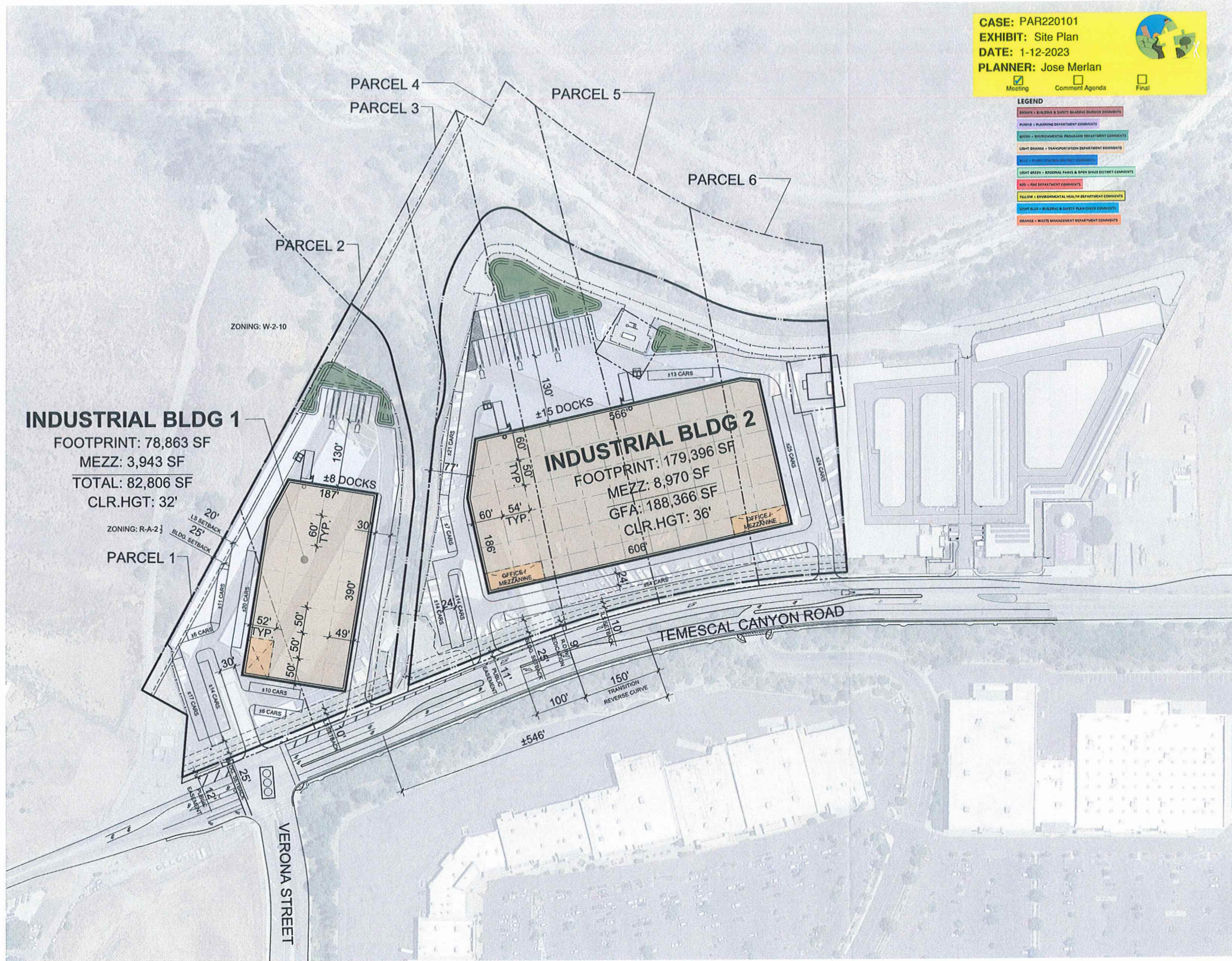
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CASE: PAR220101
EXHIBIT: Site Plan
DATE: 1-12-2023
PLANNER: Jose Merlan

- LEGEND**
- Meeting
 - Comment Agenda
 - Final

INDUSTRIAL BLDG 1
 FOOTPRINT: 78,863 SF
 MEZZ: 3,943 SF
 TOTAL: 82,806 SF
 CLR.HGT: 32'

INDUSTRIAL BLDG 2
 FOOTPRINT: 179,396 SF
 MEZZ: 8,970 SF
 GFA: 188,366 SF
 CLR.HGT: 36'

PARCELS 1-2 PROJECT DATA:

SITE AREA:	5.99 AC
GROSS:	260,723 SF
DETECTION:	@ 3% 7,330 SF
NET:	5.82 AC
	253,393 SF

BUILDING AREA:

FOOTPRINT:	78,863 SF
MEZZANINE:	@ 5% 3,943 SF
TOTAL BUILDING AREA:	82,806 SF

BUILDING USE:

WAREHOUSE	74,920 SF
OFFICE	@ 10% 7,886 SF

FAR:

GROSS:	0.32
NET:	0.33

COVERAGE:

GROSS:	30%
NET:	31%

PARKING REQUIRED:

WAREHOUSE	1/2000 SF	37 STALLS
OFFICE	1/250 SF	32 STALLS
TOTAL		69 STALLS

PARKING PROVIDED:

AUTO:	84 STALLS
	@1.01/1000 SF
TRAILER:	9 STALLS

TRUCK DOCKS:

DOCK-HIGH DOORS	8
GRADE-LEVEL DOORS	1

PARCELS 3-6 PROJECT DATA:

SITE AREA:	11.95 AC
GROSS:	520,455 SF
DETECTION:	@ 3% 15,041 SF
NET:	11.60 AC
	505,414 SF

BUILDING AREA:

FOOTPRINT:	179,396 SF
MEZZANINE:	5% 8,970 SF
TOTAL BUILDING AREA:	188,366 SF

BUILDING USE:

WAREHOUSE	170,426 SF
OFFICE	@ 10% 17,940 SF

FAR:

GROSS:	0.36
NET:	0.37

COVERAGE:

GROSS:	34%
NET:	35%

PARKING REQUIRED:

WAREHOUSE	1/2000 SF	85 STALLS
OFFICE	1/250 SF	72 STALLS
TOTAL		157 STALLS

PARKING PROVIDED:

AUTO:	182 STALLS
	@0.97/1000 SF
TRAILER:	6 STALLS
	30 STALLS

TRUCK DOCKS:

DOCK-HIGH DOORS	15
GRADE-LEVEL DOORS	2

DEVELOPMENT STANDARDS:

ZONING:	M-S-C
MAX. F.A.R.:	TBD
MAX. COVERAGE:	TBD
MAX. HEIGHT:	40 FT

BUILDING SETBACKS:

FRONT:	25 FT
SIDE:	2
REAR:	2

LANDSCAPE SETBACKS:

FRONT:	10 FT
SIDE:	3
REAR:	3

LANDSCAPE REQ.: 10%

OFF-STREET PARKING:

STANDARD:	9X18
COMPACT:	8.5X16
COMPACT %:	20%
DRIVE AISLE:	24 FT
FIRE LANE:	20 FT
OVERHANG:	N/A
TREE WELL:	TBD

REQ. PARKING RATIO BY USE:

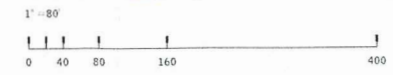
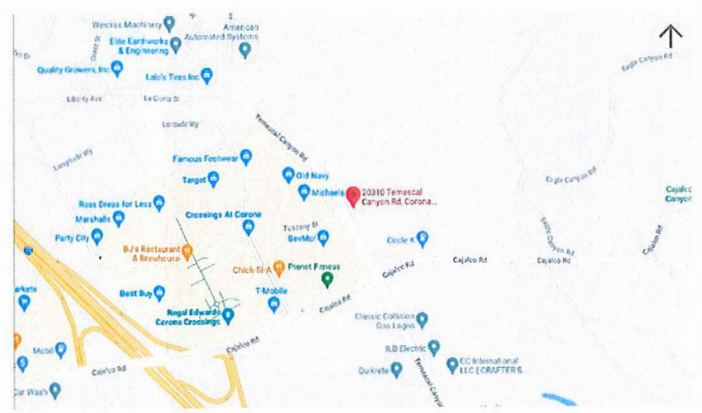
WAREHOUSE:	1/2000 SF
MANUF.:	2/3 EMP
OFFICE:	1/250 SF

- NOTES:**
- Structures shall not exceed 40 feet at the yard setback line. Buildings shall not exceed 50 feet unless a height up to 75 feet is approved.
 - Where the front, side, or rear yard adjacent a lot zoned R-1, R-2, R-3, R-4, R-5, R-6, R-7, R-8, R-9, or W-2-M, the minimum setback shall be 25 feet from the property.
 - A minimum 20 foot strip adjacent to lots zoned R-1, R-2, R-3, R-4, R-5, R-6, R-7, R-8, R-9, or W-2-M, or separated by a street from a lot with said zoning, shall be landscaped and maintained, unless a tree screen or other buffer treatments is approved by the hearing officer or body. However, in no case shall said landscaping buffer be less than 10 feet wide excluding curbing.
 - End stall shall be 13X18.
 - 50% minimum parking area shading requirement. 10% of the parking area shall be landscaped.
 - When an entire section of the parking area is restricted to compact car parking, and the parking spaces are at a 50 degree angle to the aisle, the aisle width may be reduced to 23 feet.

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

Stormwater Management Design: AVERAGE REGIONAL REQUIRED PROVIDED

Boundary Source: GIS MAP & AERIAL IMAGE



scheme: 04a

Conceptual Site Plan

20310 Temescal Canyon Road
 Corona, CA 92881 (Riverside County)

WARE MALCOMB

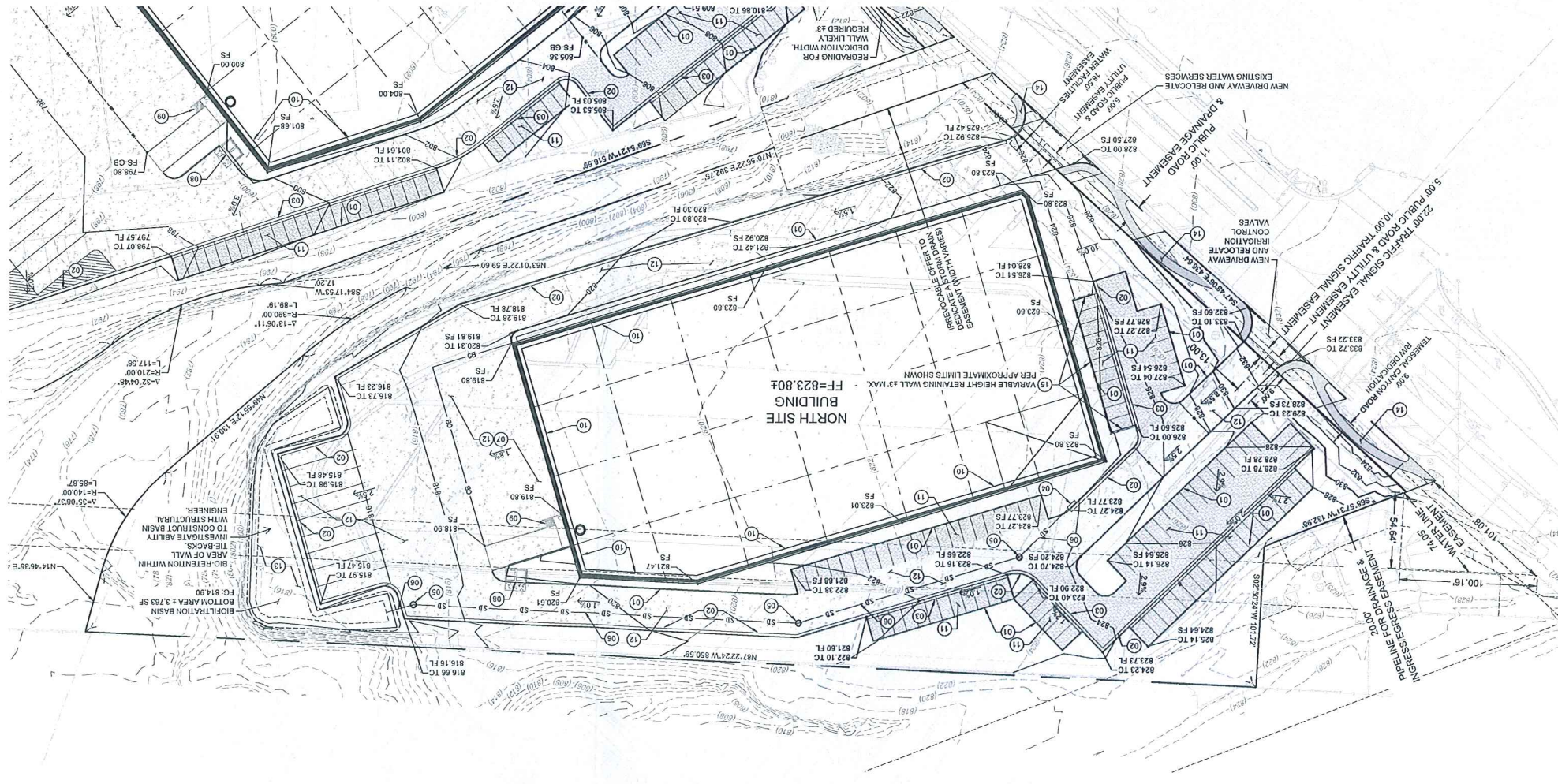
IRV22-0154-00
 10.28.2022

SHEET
 1

LEGEND

Final	Final
Meeting	Meeting
Comment Agenda	Comment Agenda
PLANNER: Jose Merlan	PLANNER: Jose Merlan
DATE: 1-12-2023	DATE: 1-12-2023
EXHIBIT: Grading Plan	EXHIBIT: Grading Plan
CASE: PAR2101	CASE: PAR2101

WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE



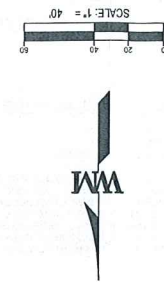
PRELIMINARY GRADING DRAINAGE PLAN
HINES - TEMESCAL
NORTH SITE

EARTHWORK QUANTITIES
CUT: 6,898 CY
FILL: 15,309 CY
NET: 8,500 CY IMPORT

NOTE: THE ESTIMATED QUANTITIES HEREON ARE ONLY FOR THE PURPOSE OF OBTAINING THE NECESSARY PERMITS WHERE MAKE GOOD DOES NOT GUARANTEE THE ACCURACY OF THE ESTIMATED QUANTITIES. THE CONTRACTOR SHALL PERFORM A BID FOR ANY QUANTITY TAKE-OFF BEFORE SUBMITTING A BID FOR ANY PORTION OF THE IMPROVEMENTS COVERED BY THESE PLANS.

- CONSTRUCTION NOTES**
- 01 NEW 6" CURB
 - 02 NEW 6" CURB AND GUTTER
 - 03 NEW VALLEY GUTTER
 - 04 NEW STORM DRAIN INLET
 - 05 NEW STORM DRAIN MANHOLE
 - 06 NEW STORM DRAIN PIPE MIN. 0.5%
 - 07 NEW LOADING DOCK
 - 08 NEW TRASH ENCLOSURE PER ARCHITECTURAL PLANS
 - 09 NEW STAIRCASE PER ARCHITECTURAL PLANS
 - 10 NEW DEEPENED FOOTING
 - 11 NEW ASPHALT PAVING
 - 12 NEW CONCRETE PAVING
 - 13 NEW STORMWATER BASIN
 - 14 NEW MEANDERING SIDEWALK
 - 15 NEW REMAINING WALL

- PAVING LEGEND**
- ASPHALT PAVING
 - CONCRETE PAVING
- WATER QUALITY BASIN SIZES ARE APPROXIMATE. FINAL SIZES WILL BE DETERMINED WITH A PRELIMINARY WOMP.



Sheet 1 of 2

DATE: 10/21/23
DESIGNED: B. SUNDBERGER
PA/PL: L. CORSEBA
JOB NO.: RW22-0154

PRELIMINARY GRADING PLAN
NORTH SITE

NO.	DATE	REVISIONS

HINES - TEMESCAL
20310 TEMESCAL CANYON ROAD
RIVERSIDE COUNTY, CA 92881



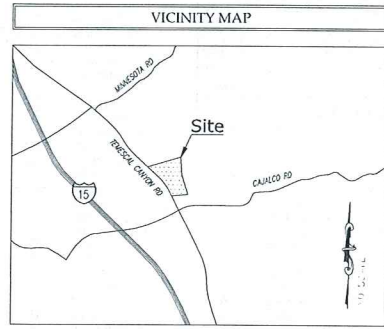
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TOPOGRAPHIC SURVEY

± 20150 TEMESCAL CANYON RD, CORONA, CA 92881



BENCHMARK

THE ELEVATIONS SHOWN HEREIN ARE BASED UPON NGS POINT 049505, ELEVATION 724.63 FEET (NAVD 88).

DESCRIPTION

DESCRIBED BY METRO WATER DIST. 50, CALIFORNIA 1995 (EEL) CORONA, CA. 15 FREEWAY EXIT CALLEJO RD EAST/RYAN ON CALLEJO RD TO TEMESCAL CANYON RD, LEFT/NORTH ALONG TEMESCAL 0.45 MILE (0.72 KM) ON RIGHT TO GATED WAD DIRT PATROL RD, THEN 0.22 MILE (0.35 KM) ON PATROL RD TO A WAD 12.5 BY 8 FOOT CONCRETE BLOWUP STRUCTURE 15 FEET EAST/RYAN OF WAD 20425 AND 10 FEET (3.0 M) NORTHERLY OF DIRT ROAD, A WAD 3 HIGH BRASS DOW STAMPED BY 123 1989 FLUSH IN THE TOP OF THE SOUTHWEST CORNER, RED WAD TB 2015 02 030 AND TB RV CD 774/44 1996.

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREIN ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 5, (201750) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819. SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CALIFORNIA SPATIAL REFERENCE CENTER (C.S.R.C.) CONTIGUOUSLY OPERATING REFERENCE STATIONS (CORS).

C.S.R.C. MFK
NORTHING = 220667.01' EASTING = 6168204.47'

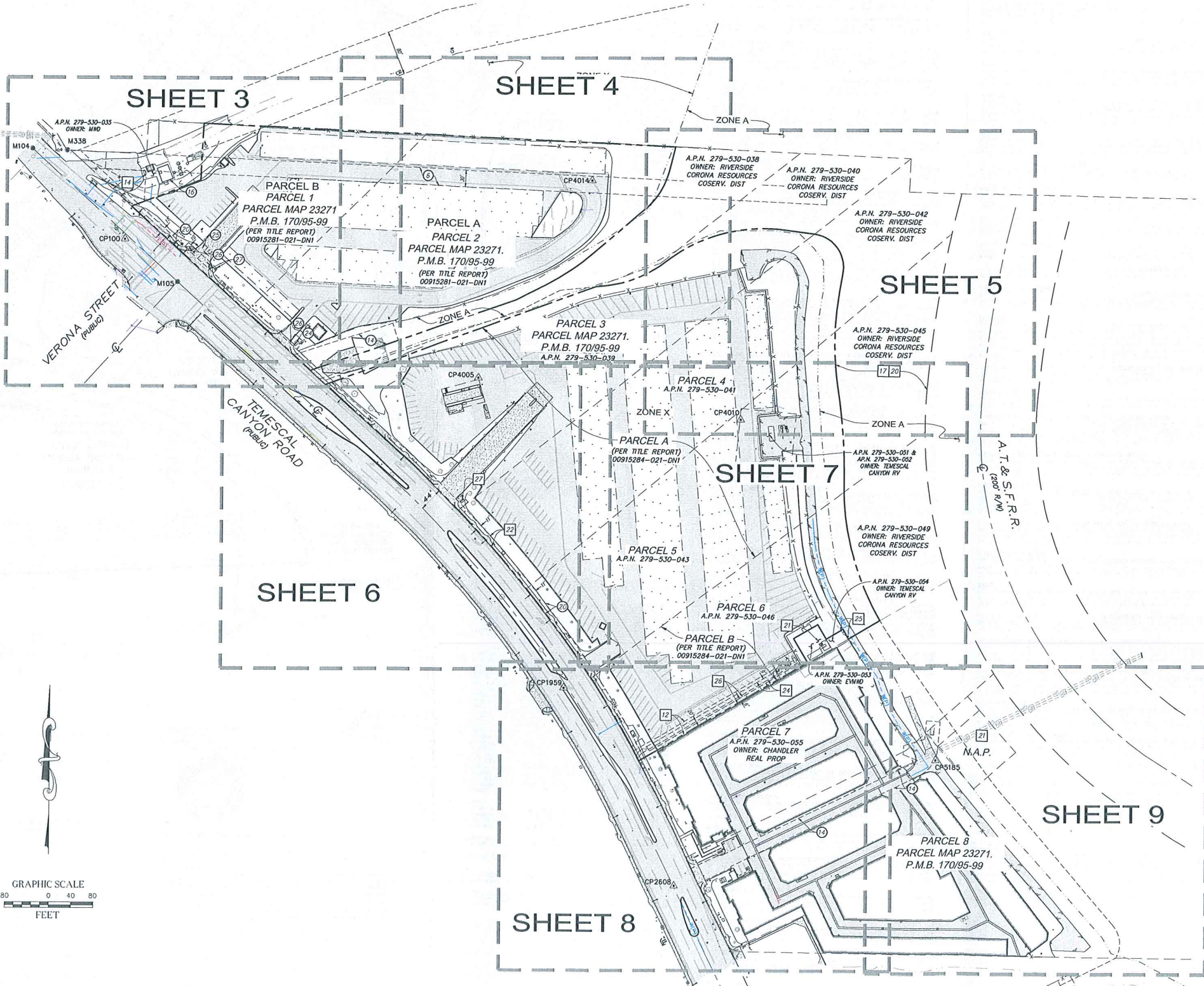
C.S.R.C. WNYE
NORTHING = 219182.30' EASTING = 6137734.85'

LEGEND

	AIR CONDITIONING UNIT		BACK-FLOW VALVE
	CATCH BASIN		CENTERLINE
	BUILDING HEIGHT TAKEN AT THIS LOCATION		CONCRETE PAVEMENT
	CAR STOP		CONTROL POINT
	ELECTRIC CABINET		ELECTRIC PANEL BOX
	ELECTRIC OUTLET		ELECTRIC METER
	FIRE DEPARTMENT CONNECTION		FIRE HYDRANT
	FLOOD DIRECTION		FOUND MONUMENT AS NOTED
	GAS METER		GATE
	GROUND ELECTRIC		GUARD POST
	GUY WIRE		HANDICAP
	IRRIGATION CONTROL VALVE		IRRIGATION CONTROL BOX
	LIGHT STANDARD		LIGHT STANDARD
	LIGHT STANDARD		PINE TREE
	POST INDICATOR VALVE		POWER POLE
	POWER POLE W/TRANSFORMER		SEWER CLEAN OUT
	SEWER MANHOLE		SON
	STORM DRAIN MANHOLE		STREET LIGHT
	STREET MANHOLE		TRAFFIC LIGHT
	TREE (TYPICAL)		TREE SWAMP
	WATER MANHOLE		WATER VALVE
	ASSESSOR'S PARCEL NUMBER		
	BRICK WALL		CATCH BASIN
	CONCRETE		CENTERLINE
	CHAIN LINK FENCE		CONCRETE/RETAINING WALL
	EDGE OF PAVEMENT		ELECTRIC LINE PAINTED
	ELECTRIC LINE PAINTED		FLOW LINE
	GAS LINE PAINTED		INSEPAR LOT LINE
	OVERHANG		OVERHEAD LINE
	PROPERTY LINE		RIGHT-OF-WAY
	RIGHT-OF-WAY		SANITARY SEWER LINE PAINTED
	SANITARY SEWER LINE PAINTED		STORM DRAIN LINE
	STORM DRAIN LINE		TELECOM LINE PAINTED
	TELECOM LINE PAINTED		TIE OF SLOPE
	TIE OF SLOPE		TOP OF SLOPE
	TOP OF SLOPE		WATER LINE PAINTED
	WATER LINE PAINTED		WOOD FENCE
	WROUGHT IRON FENCE		

CONTROL POINTS

CP#	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP100	2247564.76'	6177575.17'	835.11'	SET MAGNETIC NAIL & SHINER
CP1959	2248761.85'	6178371.35'	807.06'	SET SCRIBE X
CP2608	2248407.14'	6178571.74'	806.24'	FD, SPIKE & WASHER
CP4005	2247318.46'	6178214.39'	804.60'	SET MAGNETIC NAIL & SHINER
CP4010	2247244.69'	6178886.44'	795.59'	SET MAGNETIC NAIL & SHINER
CP4014	2247672.83'	6178415.71'	815.28'	SET MAGNETIC NAIL & SHINER
CP5185	2248634.02'	6179041.68'	795.00'	SET MAGNETIC NAIL & SHINER



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A.S. No. 22731

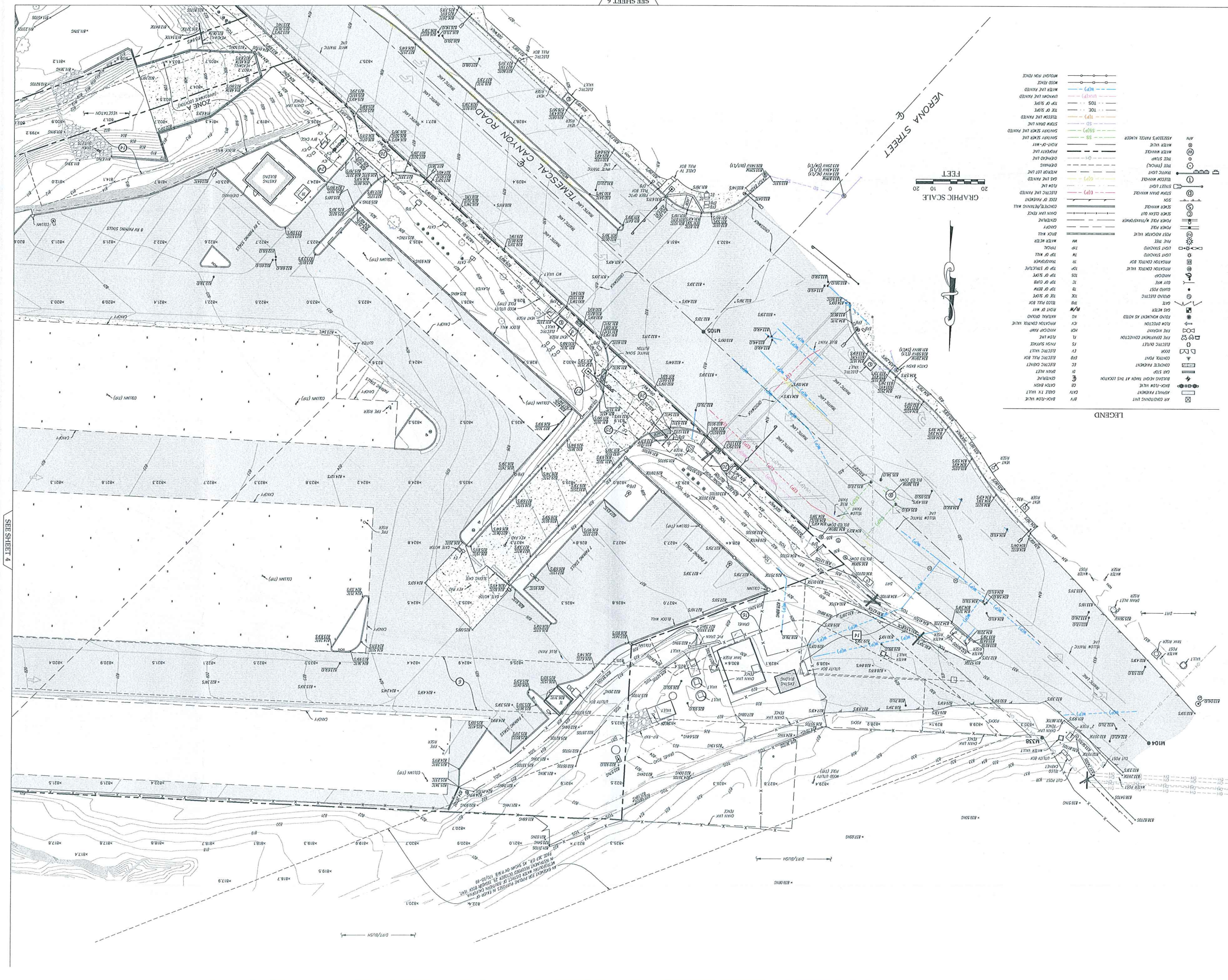
TOPOGRAPHIC SURVEY
20240 & 20146 TEMESCAL CANYON RD
CORONA, CA 92881
RIVERSIDE COUNTY

PROJECT

NO.	DATE	REVISIONS	REMARKS
1	10/12/2022		
2	10/12/2022		

PA / PM: RG
DRAWN BY: JG
JOB NO.: 22731

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LEGEND

SPOT HEIGHT	SPOT HEIGHT	SPOT HEIGHT	SPOT HEIGHT
CONTOUR	CONTOUR	CONTOUR	CONTOUR
ROAD	ROAD	ROAD	ROAD
UTILITY	UTILITY	UTILITY	UTILITY
STRUCTURE	STRUCTURE	STRUCTURE	STRUCTURE
BOUNDARY	BOUNDARY	BOUNDARY	BOUNDARY
WATER	WATER	WATER	WATER
VEGETATION	VEGETATION	VEGETATION	VEGETATION
PROPERTY	PROPERTY	PROPERTY	PROPERTY
ADDITIONAL	ADDITIONAL	ADDITIONAL	ADDITIONAL

GRAPHIC SCALE
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Sheet 3 of 9
 SHEET 3

PA./P.L. RS
 DRAWN BY: JS
 JOB NO.: 22731

PROJECT

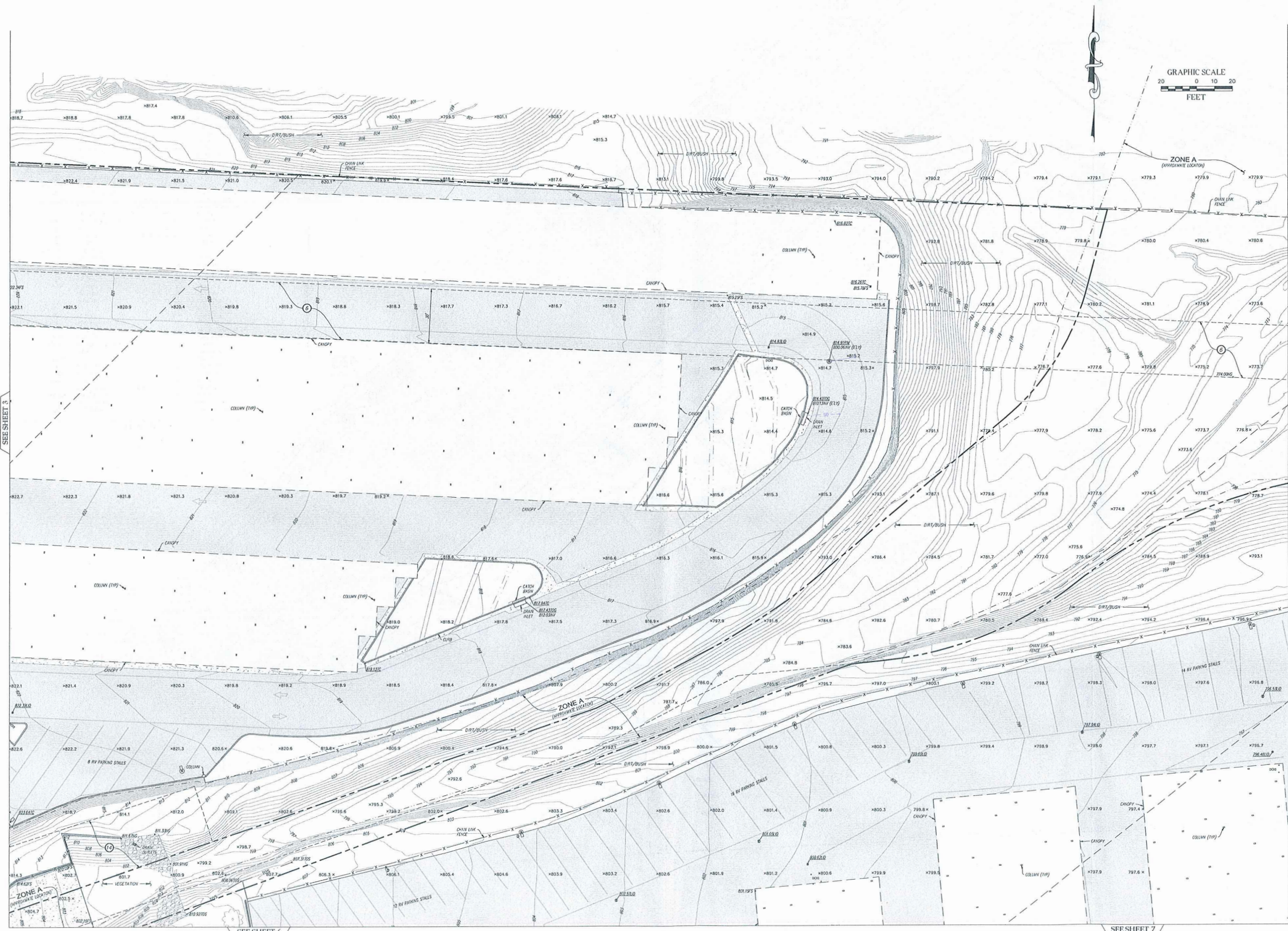
NO.	DATE	REMARKS
0	10/17/2022	SUBMITTAL COMMENTS
1	10/27/2022	

TOPOGRAPHIC SURVEY
 20240 & 20146 TEMESCAL CANYON RD
 CORONA, CA 92881
 RIVERSIDE COUNTY

CSL WDR
SURVEYING, INC.
 10000 S. MICHIGAN AVE. SUITE 100
 DENVER, CO 80231
 303.755.1234

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SEE SHEET 3

SEE SHEET 5

SEE SHEET 6

SEE SHEET 7

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CALVARIA SURVEYING, INC.
 FOR AND ON BEHALF OF
 WARE MALCOLM CIVIL ENGINEERING

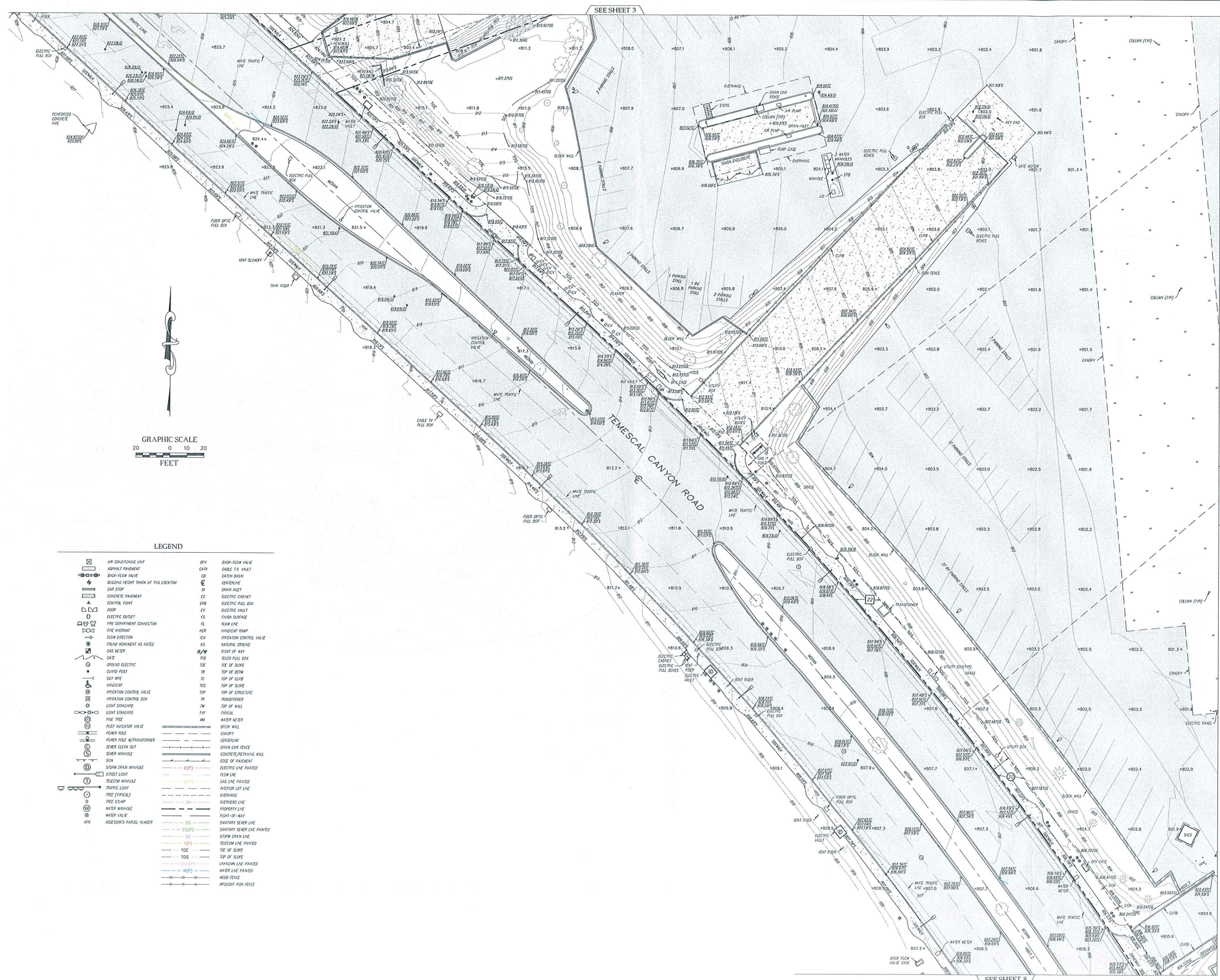
TOPOGRAPHIC SURVEY
20240 & 20146 TEMESCAL CANYON RD
 CORONA, CA 92681
 RIVERSIDE COUNTY

PROJECT	
NO.	DATE
1	10/12/2022
REMARKS	COMMENTS

PA / PM:	RG
DRAWN BY:	JG
JOB NO.:	22731

SHEET
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 Sheet 4 of 9

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SEE SHEET 3

SEE SHEET 7

SEE SHEET 8



LEGEND

- | | | | |
|--|--|--|-----------------------------|
| | AIR CONDITIONING UNIT | | BACK-FLOW VALVE |
| | ASPHALT PAVEMENT | | CABLE TV VAULT |
| | BACK-FLOW VALVE | | CATCH BASIN |
| | BUILDING HEIGHT TAKEN AT THIS LOCATION | | CENTERLINE |
| | GAS STOP | | DRAW INLET |
| | CONCRETE PAVEMENT | | ELECTRIC CABINET |
| | CONTROL POINT | | ELECTRIC PULL BOX |
| | DOOR | | ELECTRIC VAULT |
| | ELECTRIC OUTLET | | FINISH SURFACE |
| | FIRE DEPARTMENT CONNECTION | | FLOW LINE |
| | FIRE HYDRANT | | HANDICAP RAMP |
| | FLOW DIRECTION | | IRRIGATION CONTROL VALVE |
| | FOUND MONUMENT AS NOTED | | NATURAL DRAINAGE |
| | GAS METER | | RIGHT-OF-WAY |
| | GATE | | TELEDO PULL BOX |
| | GROUND ELECTRIC | | TOE OF SLOPE |
| | GROUND POST | | TOP OF BEAM |
| | GUT PIPE | | TOP OF SLAB |
| | HANDICAP | | TOP OF SLOPE |
| | IRRIGATION CONTROL VALVE | | TOP OF STRUCTURE |
| | IRRIGATION CONTROL BOX | | TRANSFORMER |
| | LIGHT STANDARD | | TOP OF WALL |
| | LIGHT STANDARD | | TYPICAL |
| | FIRE TREE | | WATER METER |
| | POST INDICATOR VALVE | | BRICK WALL |
| | POWER POLE | | CANOPY |
| | POWER POLE W/TRANSFORMER | | CENTERLINE |
| | SEWER CLEAN OUT | | CHAIN LINK FENCE |
| | SEWER MANHOLE | | CONCRETE/RETAINING WALL |
| | SONAR | | EDGE OF PAVEMENT |
| | STORM DRAIN MANHOLE | | ELECTRIC LINE PAINTED |
| | STREET LIGHT | | FLOW LINE |
| | TELECOM MANHOLE | | GAS LINE PAINTED |
| | TRAFFIC LIGHT | | INTERIOR LOT LINE |
| | TREE (TYPICAL) | | OVERHEAD LINE |
| | TREE STRIP | | PROPERTY LINE |
| | WATER MANHOLE | | RIGHT-OF-WAY |
| | WATER VALVE | | SANITARY SEWER LINE |
| | ASSESSOR'S PARCEL NUMBER | | SANITARY SEWER LINE PAINTED |
| | | | STORM DRAIN LINE |
| | | | TELEDO PULL BOX PAINTED |
| | | | TOE OF SLOPE |
| | | | TOP OF SLOPE |
| | | | UNKNOWN LINE PAINTED |
| | | | WATER LINE PAINTED |
| | | | WOOD FENCE |
| | | | WROUGHT IRON FENCE |

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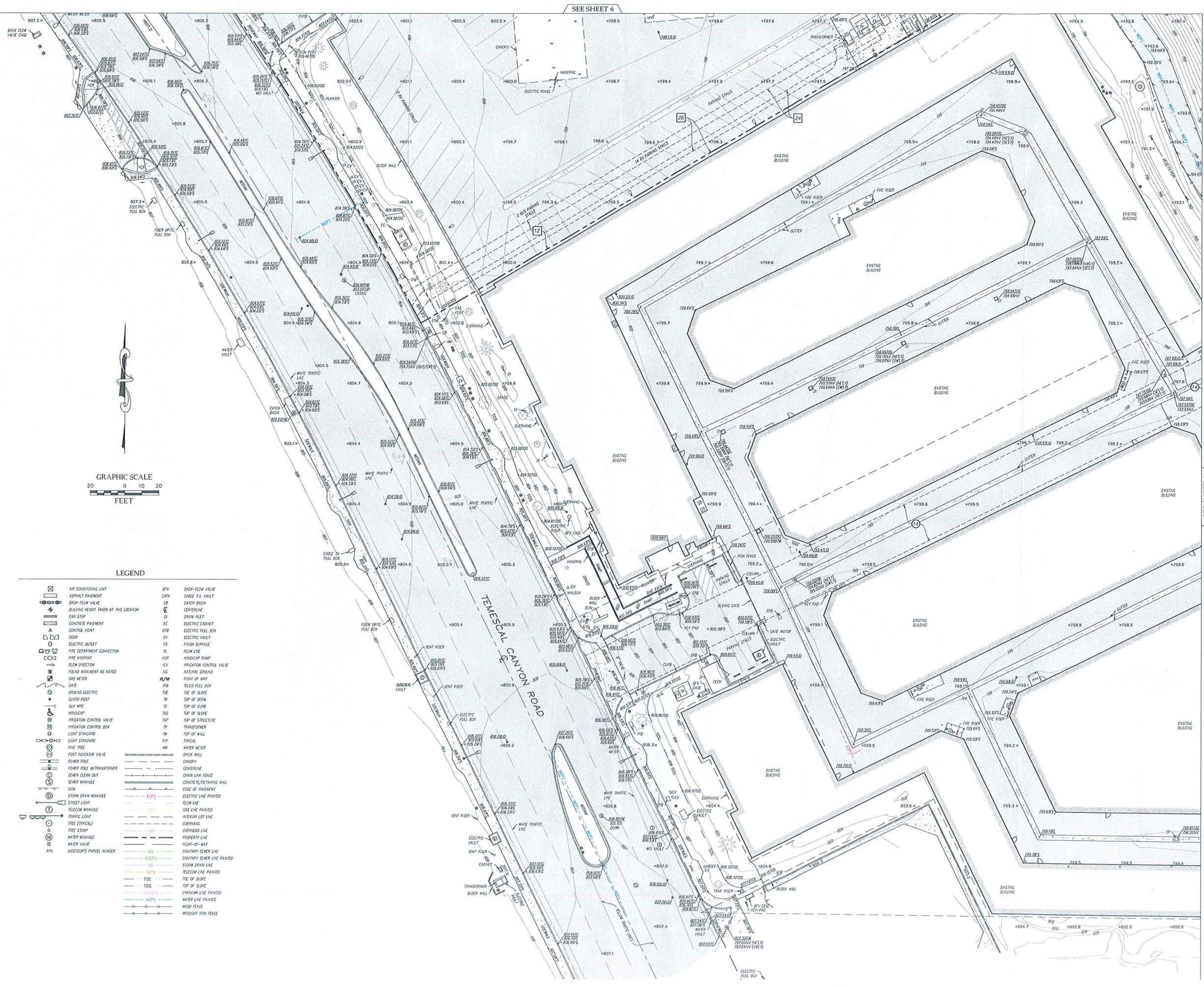
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CORONA, CA 92881
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PROJECT		REMARKS	
NO.	DATE	NO.	DATE
1	10/11/2022		
1	10/12/2022		

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JOB NO.: 22731

SHEET
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SEE SHEET 6

SEE SHEET 9

GRAPHIC SCALE
0 10 20
FEET

LEGEND

- | | | | |
|--|------|--------------------------|------|
| | ACU | BACK-FLOW VALVE | BKV |
| | ASP | CABLE EX VALVE | CAV |
| | BKV | CATCH BASIN | CB |
| | BHT | CEMENT LINE | CL |
| | CS | CONCRETE PAVEMENT | CP |
| | CP | CONTROL POINT | CP |
| | DR | ELECTRIC CABINET | EC |
| | EO | ELECTRIC PULL BOX | EPB |
| | FDC | ELECTRIC VAULT | EV |
| | FH | FINISH SURFACE | FS |
| | FD | FLOW LINE | FL |
| | FM | HANDICAP RAMP | HCR |
| | GM | IRRIGATION CONTROL VALVE | ICV |
| | GT | NATURAL GROUND | NG |
| | GE | RIGHT-OF-WAY | ROW |
| | GP | TELOD PILE BOX | TPB |
| | GW | TOP OF SLOPE | TOS |
| | HC | TOP OF BEAM | TOTB |
| | ICV | TOP OF CURB | TOTC |
| | ICB | TOP OF SLOPE | TOS |
| | LS | TOP OF STRUCTURE | TOTS |
| | LS | TRANSFORMER | TR |
| | LT | TOP OF WALL | TOTW |
| | PIV | TYPICAL | TY |
| | PP | WATER METER | WM |
| | PPTR | BRICK WALL | BW |
| | SCO | CANOPY | CAN |
| | SM | CEMENT LINE | CL |
| | SN | CHAIN LINK FENCE | CLF |
| | SDM | CONCRETE/STAINING WALL | CSW |
| | SL | EDGE OF PAVEMENT | EOP |
| | TM | ELECTRIC LINE PAINTED | ELP |
| | TF | FLOW LINE | FL |
| | TS | GAS LINE PAINTED | GLP |
| | WM | INTERIOR LOT LINE | ILL |
| | WV | OVERHANG | OH |
| | APN | PROPERTY LINE | PL |
| | | RIGHT-OF-WAY | ROW |
| | | SAINTARY SEWER LINE | SSL |
| | | SEWER CLEAN OUT | SCO |
| | | SEWER MANHOLE | SM |
| | | STORM DRAIN LINE | SDL |
| | | TELECOM LINE PAINTED | TLP |
| | | TOP OF SLOPE | TOS |
| | | TOP OF SLOPE | TOS |
| | | UNKNOWN LINE PAINTED | ULP |
| | | WATER LINE PAINTED | WLP |
| | | WOOD FENCE | WF |
| | | WROUGHT IRON FENCE | WIF |

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